

DOWNTOWN CODE



CITY OF MCDONOUGH, GA
5.30.2012

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DOWNTOWN CODE

City of McDonough, GA

ARTICLE 1: ADMINISTRATION

1.1 AUTHORITY

1.1.1 The action of the City Council of McDonough, Georgia in the adoption of this Code is authorized under the State of Georgia Planning Act (O.C.G.A. 45-12-200, et seq., and 50-8-1, et seq.) and the Zoning Procedures Law. (O.C.G.A. 36-66-1, et seq.; 36-67-1, et seq.; and, 36-67A-1, et seq.).

1.1.2 This Code was adopted as one of the instruments of implementation of the public purposes and objectives of the adopted McDonough LCI Town Square Plan of 2004 and the Joint County and Cities Comprehensive Plan and is declared to be in accord with the McDonough LCI Town Square Plan as required by the City of McDonough

1.1.3 For the purpose of promoting health, safety, morals, and the general welfare of the community, the City Council of McDonough hereby places regulations and restrictions upon the height, number of stories, and size of buildings and other structures, the percentage of lot that may be occupied, the size of yards, courts and other open spaces, the density of population, the preservation of features of historical significance, and the location and use of buildings, structures, and land for trade, industry, residence, or other purposes.

1.1.4 This Code was adopted and may be amended in accordance with Chapter 17.104 of the Zoning Ordinance.

1.2 INTENT

The intent and purpose of this Code is to enable, encourage and qualify the implementation of the following policies:

- Redefine the physical infrastructure of the Town Square area to accomplish more than just the conveyance of vehicular traffic and to support land use patterns that strengthen the public realm.
- Utilize mixed use development along street frontages at a scale that emphasizes the pedestrian and enables McDonough residents to accomplish a variety of daily needs within walking distance.

- Improve the quality of life for area residents through the economic benefits of cultural and heritage tourism that support a healthy and sustainable economy, which include improved community services and amenities, new jobs and business opportunities, stable property values, strong diversified local economies, a balanced mix of uses, and appealing storefronts, and public spaces.
- Create a vital downtown and neighborhoods that accommodate present day lifestyles while remaining strongly grounded in their cultural heritage.

1.3

1.3.1

RULES FOR ADMINISTRATION

The requirements set forth in this Code shall be considered to be comprehensive in their scope and shall be established as the exclusive requirements of property under their jurisdiction within the Zoning Ordinance unless otherwise noted or referenced herein.

1.3.2

Capitalized terms used throughout this Code may be defined in Article 10 Definitions of Terms. Article 6 contains regulatory language that is integral to this Code. Those terms not defined in Article 10 shall be accorded their commonly accepted meanings. In the event of conflicts between these definitions and those of the Zoning Code, those of this Code shall take precedence.

1.3.3

Where in conflict, numerical metrics shall take precedence over graphic metrics.

1.3.4

Where these requirements conflict with each other or with any requirement of the Zoning Ordinance, the other sections of the City Code, or the International Building Code (latest edition), the more appropriate standard which is otherwise consistent with the intent of this code and the adopted McDonough LCI Plan, as determined by the Community Development Director, shall apply. Any modifications necessary shall be made with the approval of the Community Development Director. Any appeals to these determinations must be to the Board of Zoning Appeals in accordance with Chapter 17.100 of the Zoning Ordinance.

1.3.5 Building elevations and site plans shall be submitted to show compliance with the standards described in this Code.

1.3.6 To encourage compliance with the standards of this Code as well as the vision and goals of the adopted plans, all site plans and building design plans shall be reviewed and approved by the Community Development Director or their designee unless otherwise noted.

1.4 CONDITIONAL USE PERMITS AND VARIANCES

1.4.1 Conditional Use Permit may be granted where noted in this code and where the applicant is seeking discretionary review that is not the purview of a Variance. The Planning and Zoning Commission shall have the authority to approve or disapprove a request for a Special Use Permit pursuant to regulations established in Section 17.112 of the Zoning Ordinance.

1.4.2 A Variance is any ruling on a deviation other than a Special Use Permit where a very special hardship of the property prohibits reasonable use thereof consistent with other similar conforming properties. Variances shall be processed in accordance with Chapter 17.100.030 of the Zoning Ordinance by the Board of Zoning Appeals.

1.4.3 The request for a Conditional Use Permit or Variance shall not subject the entire application to public hearing, but only that portion necessary to rule on the specific issue requiring the relief.

1.4.4 The following standards and requirements shall not be available for Conditional Use Permits or Variances:

- Variations to Permitted Heights.
- Requirements of Parking Location
- Restricted Frontage Designation

1.5 APPLICABILITY AND PRE-EXISTING CONDITIONS

1.5.1 Existing buildings and appurtenances that do not conform to the provisions of this Code may continue in use as they are until a Substantial Modification is requested, at which time the Community Development Director shall determine the provisions of this code that shall apply to achieve the highest degree of conformity subject to practical limitations.

1.5.2 The modification of existing buildings is permitted by right if such changes result in greater conformance with the specifications of this Code.

1.5.3 Where buildings exist on adjacent Lots, the Community Development Director may require that a proposed building match one or the other of the adjacent Setbacks and heights rather than the provisions of this Code.

1.5.4 New development shall comply with all of the rules noted in this code and the expense of compliance shall be borne exclusively by the developer. This code in no way conveys the promise of any public participation or subsidy.

1.5.5 Compliance with this ordinance is required if an existing development is expanded or substantially modified in accordance with the following applicability matrix:

	6.0 Building Design Standards	7.1 Parking	7.2 Driveways & Cross-Access Connections	7.3 Site Landscaping	7.4 Utilities, Trash Containment & Loading	8.0 Signage	9.2 Streetscape Improvements	All Standards
Parking Area Expansion								
Minor : 4-10 Spaces		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>		
Major: 11 or more Spaces		<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	
Building Renovation or Expansion								
Renovation Due to Disaster (Fire, Flood, etc)	<input type="checkbox"/>					<input checked="" type="checkbox"/>		
Re-occupation after Extended Vacancy (Greater than 180 days)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>				<input checked="" type="checkbox"/>		
Renovation without Expansion <50% of appraised value of building	<input checked="" type="checkbox"/>			<input type="checkbox"/>		<input checked="" type="checkbox"/>		
Substantial Renovation without Expansion >50% of appraised value of building	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		
Minor Expansion: <25% of total floor area	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		
Partial Expansion: 25% < >50% of total floor area	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	
Major Expansion: >50% of total floor area	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
<input checked="" type="checkbox"/> - <i>Compliance with all applicable standards required</i> <input type="checkbox"/> - <i>Compliance required of the expanded building or lot area only to the extent practical</i>								

ARTICLE 2: REGULATING PLAN

2.1 DISTRICT DESIGNATIONS

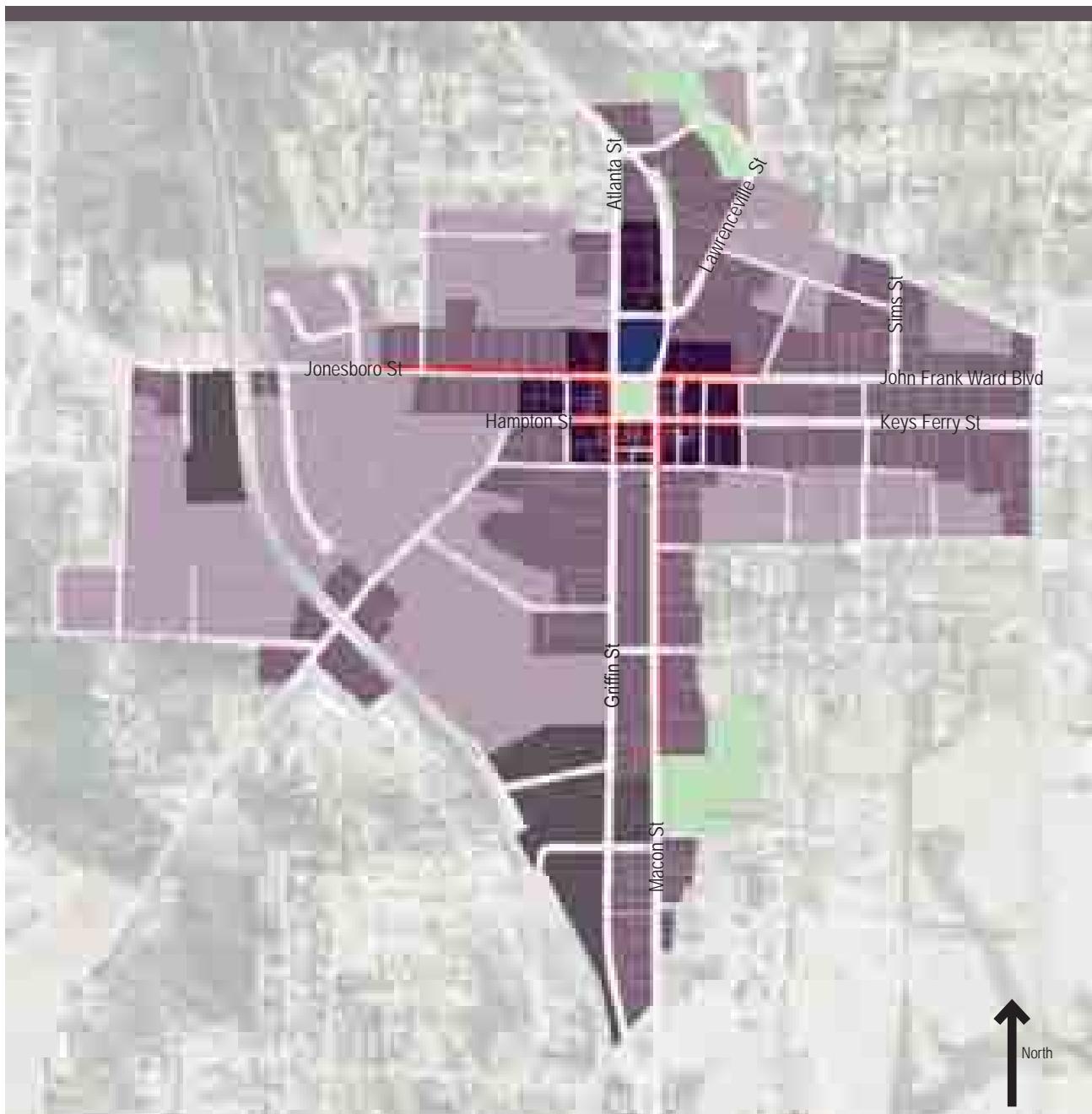
The districts in this Downtown Code have been established using a continuum of six intensities of development, ranging from rural to urban. The diagram below illustrates these conditions as they would apply to the entire City with environmentally sensitive areas that are permanently preserved for natural areas and the Downtown that is supported first and foremost for the human habitat.

UR	URBAN RESIDENTIAL Urban Residential consists of predominately medium density residential urban fabric. It may have a wide range of building types: single, sideyard, and rowhouses. Setbacks and landscaping are variable. Streets with curbs and sidewalks define medium-sized blocks.	General Character: Mix of Houses, Townhouses & small Apartment buildings, with scattered Commercial activity; balance between landscape and buildings; presence of pedestrians Building Placement: Shallow to medium front and side yard Setbacks Frontage Types: Porches & Fence, Dooryard, Stoop Typical Building Height: 1- to 3-Story Type of Civic Space: Squares, Greens
CMX	CORRIDOR MIXED USE Urban Corridor Mixed Use consists of higher density, mixed use buildings that accommodate retail, offices, rowhouses and apartments. It has a tight network of streets, with wide sidewalks, steady street tree planting and buildings set close to the sidewalks.	General Character: Shops mixed with Townhouses, larger Apartment houses, Offices, workplace, and Civic buildings; predominantly attached buildings; trees within the public right-of-way; substantial pedestrian activity Building Placement: Shallow Setbacks or none; buildings oriented to street defining a street wall Frontage Types: Forecourt, Stoop, Shopfront Typical Building Height: 3- to 4-Story with some variation Type of Civic Space: Squares, Greens
TSMX	TOWN SQUARE MIXED USE Town Square Mixed Use consists of high-density, mixed use buildings that accommodate retail, offices, rowhouses and apartments. It has a tight network of streets, with wide sidewalks, steady street tree planting and buildings set close to the sidewalks.	General Character: Shops mixed with Townhouses, larger Apartment houses, Offices, workplace, and Civic buildings; predominantly attached buildings; trees within the public right-of-way; highest pedestrian activity. Building Placement: Shallow Setbacks or none; buildings oriented to street, defining a street wall Frontage Types: Shopfronts, Galleries, and Arcades Typical Building Height: 3- to 4-Story up to 6 Story stepped back Type of Civic Space: Parks, Plazas and Squares; median landscaping
SD-NI	SPECIAL DISTRICT: NEIGHBORHOOD INDUSTRIAL Industrial Mixed Use consists of medium density, multi-use and mixed use new and renovated/adaptively re-used buildings that accommodate retail, offices, light manufacturing, artisan & craft production, and housing. Streets with curbs and sidewalks define medium-sized blocks.	General Character: Old industrial buildings mixed with housing, offices, workplace, and Civic buildings; predominantly attached buildings; trees within the public right-of-way; substantial pedestrian activity Building Placement: Variable Setbacks or none; new buildings oriented to street defining a street wall with existing structures Frontage Types: Stoop, Shopfront, Gallery (New Buildings) Typical Building Height: 1- to 4-Story with some variation Type of Civic Space: Parks, Plazas and Squares, median landscaping

2.2 CIVIC SPACE ZONES

Civic Space Zones are designated on the Regulating Plan as Civic Space (CS) and Civic Buildings (CB).

2.3 REGULATING MAP



TSMX Town Square Mixed-Use

Restricted Frontage

CMX Corridor Mixed-Use

CB Civic Building

UR Urban Residential

CS Civic Space

SD-NI Special District - Neighborhood Industrial

2.4 RESTRICTED FRONTAGES

The Regulating Plan designates certain frontages as unique from their general district standards. As such, where a wide variety of frontage types may be permitted generally, the Restricted Frontage limits that variety to achieve a specific design.

2.4.1 TSMX-Restricted Frontage: Shopfront, Gallery, or Arcade only

2.4.2 CMX-Restricted Frontage: Shopfront, Gallery and Arcade not permitted

2.5 CIVIC SPACE (CS) AND CIVIC BUILDING (CB) ZONES

A. Development in CS and CB Zones shall be limited to public buildings and features only and shall be approved by Special Use Permit only.



	TSMX Town Square Mixed-Use		Restricted Frontage
	CMX Corridor Mixed-Use		CB Civic Building
	UR Urban Residential		CS Civic Space
	SD-NI Special District - Neighborhood Industrial		

ARTICLE 3: USE STANDARDS

3.1 TABLE OF PERMITTED USES

The following table identifies the permitted uses and functions by district for the Downtown Area. Use and functions that are identified as "Permitted with Conditional Use Requirements" are subject to additional standards identified in Section 3.2. Item noted as requiring a Conditional Use Permit shall be subject to the provisions of Section 17.112 of the Zoning Ordinance. Items not listed shall be deemed to be not permitted unless the Community Development Director determines that the proposed use or function is materially similar to one shown in the table. The classifications below are intentionally broad in their scope and should be construed as such in making a determination of similar use or function.

Use or Function	UR	CMX	TSMX	SD-NI	Special Regulations
A. Residential	UR	CMX	TSMX	SD-NI	Special Regulations
Dwelling-Single Family	P	P	P	P	
Dwelling-Two family	P	P	P	P	
Dwelling-Multifamily	PS	P	P	P	Maximum six dwelling units
Dwelling-Accessory	PS	P	P	P	3.2.1.A
Family Care Home (6 or fewer residents)	PS	PS	PS	-	Zoning Ordinance 17.112.060.6
Live-Work Units	PS	PS	PS	PS	3.2.1.B
Manufactured Home	-	-	-	-	
Residential Care Facilities (More than 6 Residents)	PS	PS	PS	-	Zoning Ordinance 17.112.060.1
B. Lodging	UR	CMX	TSMX	SD-NI	Special Regulations
Bed and Breakfast Homes (Up to 8 Guest Rooms)	PS	P	P	P	3.2.2.A
Bed and Breakfast Inn (Up to 12 Guest Rooms)	-	P	P	P	
Boarding or Rooming House	-	CUP	-	-	Zoning Ordinance 17.112.060.7
Hotel/Motel	-	P	P	P	
C. Office/Service	UR	CMX	TSMX	SD-NI	Special Regulations
ATM	-	P	P	P	
Banks, Credit Unions, Financial Services	-	P	P	P	
Business Support Services	-	P	P	P	
Crematoria	-	P	-	-	
Dry Cleaning & Laundry Services	-	P	P	P	
Funeral Homes	-	P	P	P	
Home Occupation	PS	P	P	P	Zoning Ordinance 17.20.060
Clinic	-	P	P	P	
Personal Services	LW	P	P	P	
Personal Services, Restricted	-	-	-	-	
Post Office	-	P	P	P	
Professional Services	LW	P	P	P	
Small Equipment Repair/Rental	-	P	P	-	
Veterinary Services	-	P	P	P	
D. Commercial/Entertainment	UR	CMX	TSMX	SD-NI	Special Regulations
Adult Establishment	-	-	-	-	
Amusements, Indoor	-	P	P	-	
Amusements, Outdoor	-	-	-	-	

P - Permitted PS - Permitted with Additional Standards LW - In Live Work Units Only CUP - Conditional Use Permit

ARTICLE 3: USE STANDARDS

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Use or Function	UR	CMX	TSMX	SD-NI	Special Regulations
Billiard/Pool Hall	-	P	P	P	
Bar/Tavern/Night Club	-	-	P	P	
General Commercial	-	P	P	P	
General Commercial – Use Greater than 25,000 sf	-	-	-	-	
Outside Sales	-	PS	PS	-	3.2.3.A
Pawnshops	-	P	-	-	
Racetrack	-	-	-	-	
Restaurant	CUP	P	P	P	
Shooting Range, Outdoor	-	-	-	-	
Theater, Indoor Movie or Live Performance	-	P	P	P	
Theater, Outdoor	-	-	-	P	
E. Civic	UR	CMX	TSMX	SD-NI	Special Regulations
Cemetery	PS	PS	PS	-	Zoning Ordinance 17.112.060.3
Civic Meeting Facilities	-	P	P	P	
Conference/Convention Center	-	P	P	P	
Cultural or Community Facility	PS	P	P	P	
Recreation Facilities, Indoor	PS	P	P	P	
Recreation Facilities, Outdoor	PS	P	P	P	
Religious Institution	-	PS	PS	P	3.2.4.A
Sports Arena/Stadium	-	-	-	-	
F. Educational/Institutional	UR	CMX	TSMX	SD-NI	Special Regulations
College/University	-	PS	P	P	
Community Support Facility	-	P	P	P	
Correctional Institution	-	-	CUP	-	
Day Care Facility (8 or fewer persons)	P	P	P	P	
Day Care Facility	-	P	P	P	
Halfway Homes	-	PS	-	PS	Zoning Ordinance 17.112.060.8
Hospital	-	-	-	-	
Schools – Elementary & Secondary	PS	PS	PS	PS	3.2.5.A
Schools – Vocational/Technical	-	P	P	P	
Studio – Art, dance, martial arts, music	LW	P	P	P	
G. Automotive	UR	CMX	TSMX	SD-NI	Special Regulations
Drive-Thru/Drive-In Facility	-	CUP	-	-	3.2.6.A
Gas/Fueling Station	-	CUP	-	-	3.2.6.B
Heavy Equipment/Manufactured Home Rental/Sales	-	-	-	-	
Parking Lot/Structure – Principal Use	-	-	CUP	-	3.2.6.C
Theater, Drive-In	-	-	-	P	
Vehicle Rental/Leasing/Sales	-	PS	PS	PS	3.2.6.D
Vehicle Services – Minor Maintenance/Repair	-	PS	-	-	3.2.6.E
Vehicle Services – Major Repair/Body Work	-	-	-	-	
H. Industry/Wholesale/Storage	UR	CMX	TSMX	SD-LI	Special Regulations
Artist Studio/Light Manufacturing Workshops	LW	P	P	P	

P - Permitted PS - Permitted with Additional Standards LW - In Live Work Units Only CUP - Conditional Use Permit

Use or Function	UR	CMX	TSMX	SD-NI	Special Regulations
Industry, Light	-	P	P	P	
Industry, Heavy	-	-	-	-	
Materials Recovery & Waste Transfer Facilities	-	-	-	-	
Recycling Collection Stations	-	-	-	-	
Research and Development Facilities	-	P	P	P	
Storage – Outdoor Storage Yard	-	-	-	P	
Storage – Self-Service	-	-	-	P	
Wholesaling and Distribution	-	-	-	-	
I. Agriculture	UR	CMX	TSMX	SD-NI	Special Regulations
Animal Production	-	-	-	-	
Backyard Pens/Coops	PS	PS	PS	PS	3.2.8.A
Farmer's Markets	-	P	P	P	
Nurseries & Garden Centers	-	P	P	P	
Gardens (Community and Private)	P	P	P	P	
Kennels, Outdoor	-	-	-	-	
Produce Stands	PS	P	P	P	
J. Infrastructure	UR	CMX	TSMX	SD-NI	Special Regulations
Airstrip/Airport	-	-	-	-	
Telecommunications Tower	-	PS	-	PS	Zoning Ordinance 17.90
Utilities – Class 1	P	P	P	P	
Utilities – Class 2	P	P	P	P	
Utilities – Class 3	-	-	-	-	
K. Other	UR	CMX	TSMX	SD-NI	Special Regulations
Accessory Uses	PS	PS	PS	PS	Zoning Ordinance 17.20.070
Temporary Uses	P - Permitted	PS - Permitted with Additional Standards	P	LW ^P In Live Work Units Only	CUP - Conditional Use Permit

3.2 ADDITIONAL USE STANDARDS

3.2.1 RESIDENTIAL USES & FUNCTIONS

A. Dwelling - Accessory: To meet the City's range of housing needs, accessory dwelling units are permitted. The accessory dwelling unit must be subordinate to the primary living quarters.

1. Any accessory dwelling unit must be located in the rear yard of any residential use lot subject to the requirements of this Section.
2. Accessory dwelling units may be created as a second story to a detached garage with a two (2) story height maximum as long as the accessory structure does not exceed the height of the principal structure. Not more than one (1) secondary dwelling unit is permitted.
3. The accessory dwelling unit may not be larger than twenty-five (25) percent of the gross floor area of the principal structure except that it shall have a minimum habitable area of not less than 360 square feet.
4. One (1) parking space may be provided per unit. Parking spaces must be located in the rear yard or side yard of the principal dwelling unit or may be located on-street in front of the principal dwelling unit.
5. No exterior changes may be made to the existing foundation, unless the Community Development Director finds that the changes are required by the circumstances of the particular building.

B. Live-Work Units: Construction shall meet requirements of the Georgia State Minimum Standard Codes, as adopted by the City of McDonough, and the following:

- A. Non-residential use areas shall meet accessibility requirements of the current Georgia Accessibility Code.
- B. The maximum total size of a Live-Work unit is 3,000 square feet and three stories in height.

- C. The non-residential area function shall be limited to the first or main floor only, and must occupy the portion of the building facing the street.
- D. The work area shall occupy 50% or less of the total unit.
- E. The same tenant shall occupy the work area and living area.

3.2.2 LODGING USES & FUNCTIONS

A. Bed and Breakfast Home (Up to 8 Guest Rooms)

1. The Lodging must be owner occupied.
2. Food service may be provided in the a.m. The maximum length of stay shall not exceed 10 consecutive days without a permit.

B. Bed and Breakfast Inn (Up to 12 Guest Rooms)

1. The lodging must either be owner-occupied or have a resident manager.
2. Food and beverage service may be provided from 6:00 a.m. until 11:00 p.m.

3.2.3 COMMERCIAL / ENTERTAINMENT USES & FUNCTIONS

A. Outside Sales

1. Location: Outside sales must be clearly secondary to the primary use within the associated permanent structure and shall generally be located to the side or rear of the principal structure. Display of merchandise for sale outdoors in the front yard shall not exceed a maximum of 12 feet from the front facade of the building.
2. Displays on public sidewalks: Merchandise for sale may be placed on the public sidewalk in front of the shop where the building is directly adjacent to the sidewalk provided that a minimum of a 5 foot wide clearance on the sidewalk is maintained. Such displays shall be removed from the sidewalk when the business is not open. Such sales may also be subject to other City ordinances.

B. Theater, Outdoor

1. The performance and audience areas for any outdoor theater shall be located a minimum of two hundred (200) feet from any adjacent residentially zoned property.

3.2.4 CIVIC USES & FUNCTIONS**A. Religious Institution**

1. Prohibited Except as an Accessory Use: A religious institution is prohibited from operating in the TSMX and CDX Restricted Frontage zones except as an accessory use (less than 50% of the total first floor area) to an otherwise permitted use. All such operations shall be to the rear of the structure away from the public frontage or in upper stories. The use of upper stories by the religious institution is not limited.
2. Operating Hours: Commercial uses related to religious institutions (e.g., bookstores) must be open for business during typical business hours (from 8 am to 5 pm on regular non-holiday weekdays) in order to be considered as a primary use.

3.2.5 EDUCATIONAL/INSTITUTIONAL USES & FUNCTIONS**A. Schools - Elementary & Secondary**

1. Connectivity (vehicular and pedestrian) to surrounding residential areas is required. Where a full vehicular connection is impractical, a multi-use trail connection shall be provided.

3.2.6 AUTOMOTIVE USES & FUNCTIONS**A. Drive-Through - Drive-In Facility**

1. Drive-thru facilities shall be located in the 3rd Layer only.
2. Access to the drive-thru service shall be from mid-block or the alley to avoid disrupting pedestrian traffic.

B. Gas/Fueling Station

1. All Canopies/Pumps shall be located in the 3rd Layer only, be located at least

fifty (50) feet from any interior side or rear property line that adjoins residentially developed property, and shall be buffered from adjoining residential uses with a Streetscreen.

2. Principal Buildings: A conforming principal building is required and shall be a minimum of one thousand six hundred (1,600) square feet.



Illustration of a typical Gas/Fueling Station located to the rear of a pedestrian-friendly building

3. Lighting: All lighting, including that from a sign or structure, must be shielded to direct light and glare only onto the lot or parcel where the gas/fueling station is located.

C. Parking Lot/Structure - Principal Use

1. Private Parking Lots: Privately owned parking lots are permitted as accessory uses only (i.e., free standing parking lots not directly associated with buildings in the same block are not permitted).
2. Parking Garage Design Standards:
 - a. Liner Buildings Required: The ground-level of a parking structure shall be wrapped by ground floor retail, office or some other active use along all street-facing façades. All levels of a structured parking facility must be designed and screened in such a way as to minimize visibility of parked cars.
 - b. High-Quality Materials: Along pedestrian-oriented streets, parking structure facades shall be treated with high quality materials and given vertical articulation and emphasis compatible to the principal structure. The façade should be designed to visually screen cars. In no instance will rails or cabling alone be sufficient to meet this screening requirement.
 - c. Clear Entries: Pedestrian entries shall be

clearly visible. Buildings' interior circulation should not be located so that it is difficult or confusing to locate.

d. Vents and Utility Openings: In addition to the above requirements, in the event that any openings for ventilation, service, or emergency access are located at the first floor level in the building façade, then they shall be an integral part of the overall building design. These openings as well as pedestrian and vehicular entrances must be designed to minimize visibility of parked cars. The remainder of the street level frontage must be either commercial space or an architecturally articulated façade designed to minimize the visibility of parked cars.

D. Vehicle Rental/Leasing/Sales

1. Areas for vehicle displays shall be limited to the 2nd and 3rd Layers only. Parking areas may not be expanded into any 1st layer zone.

E. Vehicle Services - Minor Maintenance/Repair

1. Repair and Maintenance – General
 - a. No vehicle may be parked or stored for the purpose of sale or rent or as a source of parts.
 - b. All repairs and storage must be contained within an enclosed building. Temporary vehicle storage may be allowed in an outdoor storage area that shall be no larger than 25 percent of the total lot area. Such areas must be located to the rear of the principal structure and must be screened from offsite views by a solid, decorative fence or masonry wall at least eight feet in height. The height of materials and equipment stored must not exceed the height of the screening fence or wall.
 - c. No vehicle that has been repaired and is awaiting removal, or that is awaiting repair, may be stored or parked for more than 7 consecutive days.

2. Car Wash or Auto Detailing

- a. An automatic car wash shall be considered an accessory use to an automotive service station use when it is located on the same lot, and shall be governed by the use and development regulations applicable to the service station use.
- b. The car wash facility shall have a 100 percent water recycling system.
- c. Any outdoor speaker or public address system shall not be audible off-site.

3.2.7 INDUSTRY / WHOLESALE / STORAGE USES & FUNCTIONS

No additional standards

3.2.8 AGRICULTURAL USES & FUNCTIONS**A. Backyard Pens/Coops**

1. There shall be a maximum of ten hens and one rooster permitted.
2. Enclosure: All above mentioned animals shall be kept in a fenced area, or other enclosure, sufficient to prevent their encroachment on neighboring properties.

3.2.9 INFRASTRUCTURE USES & FUNCTIONS

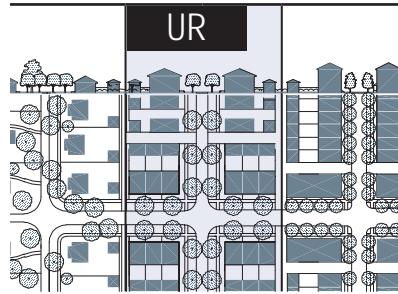
No additional standards

3.2.10 OTHER USES & FUNCTIONS

No additional standards

ARTICLE 4: DISTRICT PROVISIONS

4.1 URBAN RESIDENTIAL



A. BUILDING HEIGHT

1. Principal Building	3 stories max, 18 ft. min
2. Outbuilding	2 stories max.

B. LOT OCCUPATION

1. Lot Width	18 ft min 96 ft max
2. Lot Coverage	70% max

C. BUILDING DISPOSITION (see Section 4.5)

1. Edgeyard	permitted
2. Sideyard	permitted
3. Rearyard	permitted
4. Courtyard	not permitted

D. SETBACKS - PRINCIPAL BUILDING

1. Front Setback Principal	6 ft. min. 18 ft. max.
2. Front Setback Secondary	6 ft. min. 18 ft. max
3. Side Setback	0 ft. or 6 ft min.
4. Rear Setback	20 ft. min.*
5. Frontage Buildout	60% min at setback

E. SETBACKS - OUTBUILDING

1. Front Setback	20 ft. min. + bldg. setback
2. Side Setback	0 ft. min. or 3 ft at corner
3. Rear Setback	3 ft. min

F. PRIVATE FRONTAGES (see Section 4.6)

1. Common Lawn	permitted
2. Porch & Fence	permitted
3. Terrace or L.C.	permitted
4. Forecourt	permitted
5. Stoop	permitted
6. Shopfront & Awning	not permitted
7. Gallery	not permitted
8. Arcade	not permitted

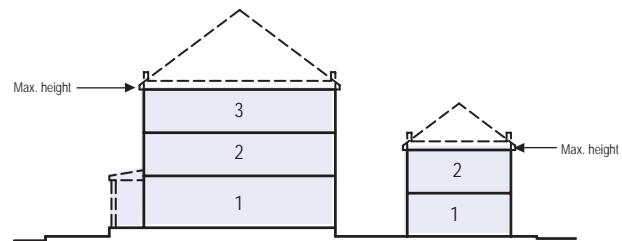
G. PARKING PROVISIONS

See Section 7.1

*or 15 ft. from centerline of alley

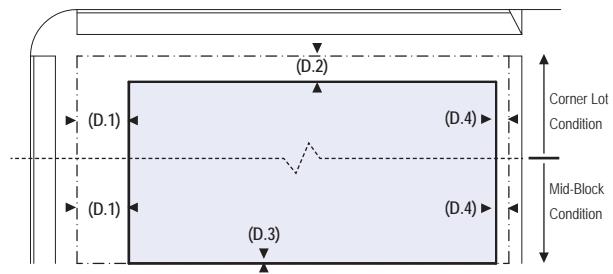
BUILDING HEIGHT

1. Building height shall be measured per Section 5.2.



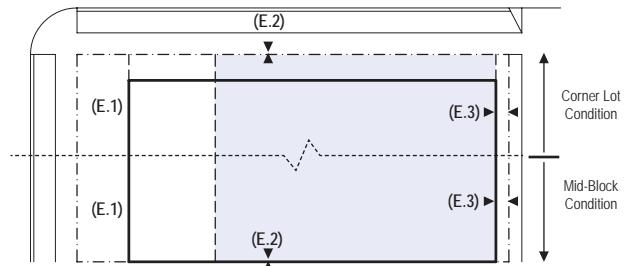
SETBACKS - PRINCIPAL BLDG

1. The Facades and Elevations of Principal Buildings shall be distanced from the Lot lines as shown.
 2. Facades shall be built along the Principal Frontage to the minimum specified width in the table.

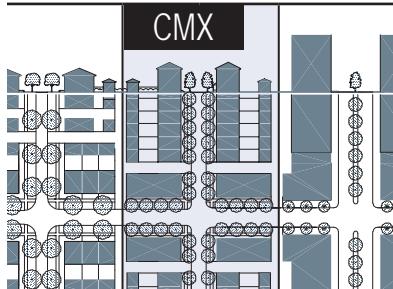


SETBACKS - OUTBUILDING

1. The Elevations of the Outbuilding shall be distanced from the Lot lines as shown.

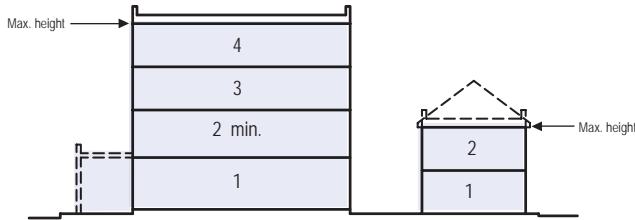


4.2 CORRIDOR MIXED USE



BUILDING HEIGHT

1. Building height shall be measured per Section 5.2.



A. BUILDING HEIGHT

1. Principal Building	4 stories max., 22 ft min.
2. Outbuilding	2 stories max.

B. LOT OCCUPATION

1. Lot Width	18 ft min 180 ft max
2. Lot Coverage	80% max

C. BUILDING DISPOSITION (see Section 4.5)

1. Edgeyard	not permitted
2. Sideyard	permitted
3. Rearyard	permitted
4. Courtyard	permitted

D. SETBACKS - PRINCIPAL BUILDING

1. Front Setback Principal	0 ft. min. 18 ft. max.
2. Front Setback Secondary	0 ft. min. 18 ft. max.
3. Side Setback	0 ft. min. 24 ft. max.
4. Rear Setback	3 ft. min.*
5. Frontage Buildout	80% min at setback

E. SETBACKS - OUTBUILDING

1. Front Setback	40 ft. max. from rear prop.
2. Side Setback	0 ft. min. or 2 ft at corner
3. Rear Setback	3 ft. max.

F. PRIVATE FRONTAGES (see Section 4.6)

1. Common Lawn	not permitted
2. Porch & Fence	not permitted
3. Terrace or L.C.	permitted
4. Forecourt	permitted
5. Stoop	permitted
6. Shopfront & Awning	permitted
7. Gallery	not permitted
8. Arcade	not permitted

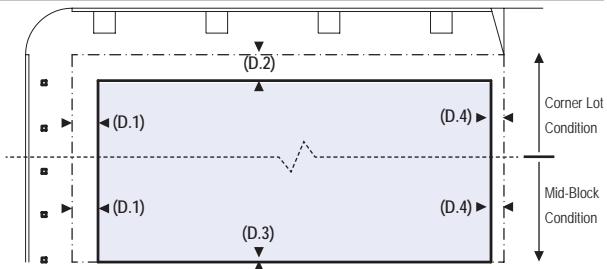
G. PARKING PROVISIONS

See Section 7.1

*or 15 ft. from center line of alley

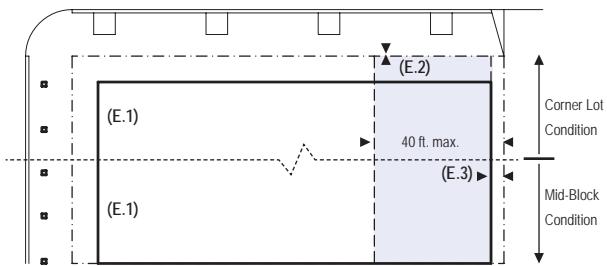
SETBACKS - PRINCIPAL BLDG

1. The Facades and Elevations of Principal Buildings shall be distanced from the Lot lines as shown.
2. Facades shall be built along the Principal Frontage to the minimum specified width in the table.

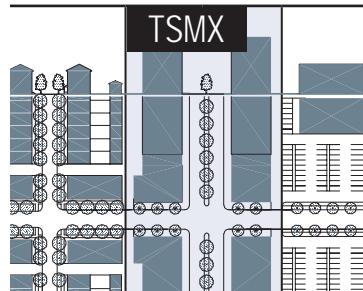


SETBACKS - OUTBUILDING

1. The Elevations of the Outbuilding shall be distanced from the Lot lines as shown.



4.3 TOWN SQUARE MIXED USE



A. BUILDING HEIGHT

1. Principal Building (Max)	Square Frontage: 3 story 100 Ft Setback: 4 story*
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2. Principal Building (Min)	All Buildings - 22 ft min.
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3. Outbuilding	N/A
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4. Upper Story Setback	20 ft. above 4th story
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B. LOT OCCUPATION

1. Lot Width	18 ft. min 96 ft. max
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2. Lot Coverage	80% max
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C. BUILDING DISPOSITION (see Section 4.5)

1. Edgeyard	not permitted
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2. Sideyard	not permitted
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3. Rearyard	permitted
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4. Courtyard	permitted
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D. SETBACKS - PRINCIPAL BUILDING

1. Front Setback Principal	0 ft. min, 6 ft. max
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2. Front Setback Secondary	0 ft. min, 12 ft. max
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3. Side Setback	0 ft. min, 12 ft. max
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4. Rear Setback	0 ft. min, 12 ft. max
-----------------	-----------------------

5. Frontage Buildout	80% min. at setback
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E. SETBACKS - OUTBUILDING

1. Front Setback	N/A
------------------	-----

2. Side Setback	N/A
-----------------	-----

3. Rear Setback	N/A
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F. PRIVATE FRONTAGES (see Section 4.6)

1. Common Lawn	not permitted
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2. Porch & Fence	not permitted
------------------	---------------

3. Terrace or L.C.	permitted
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4. Forecourt	permitted
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5. Stoop	permitted
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6. Shopfront & Awning	permitted
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7. Gallery	permitted
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8. Arcade	permitted
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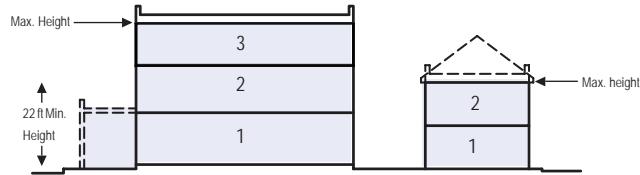
G. PARKING PROVISIONS

See Section 7.1

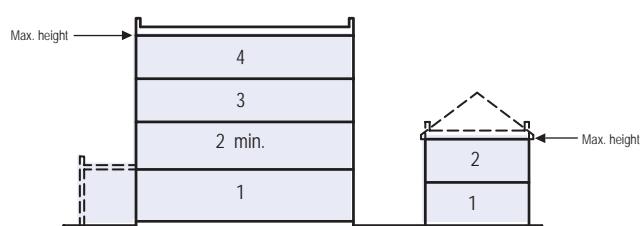
* Building elevations setback a minimum of 100 ft from all streets fronting on the Town Square

**or 15 ft. from center line of alley

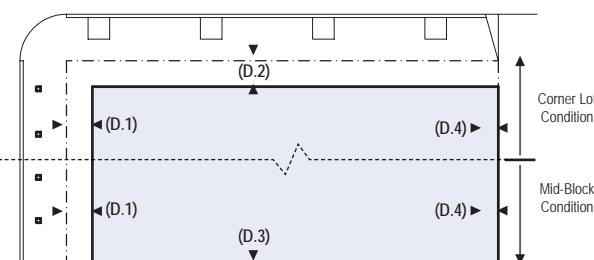
BUILDING HEIGHT: Square Frontage
1. Building height shall be measured per Section 5.2.



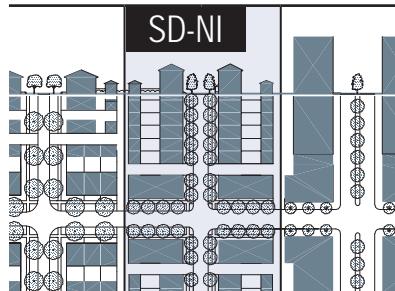
BUILDING HEIGHT: 100 Ft Setback from Square
1. Building height shall be measured per Section 5.2.



SETBACKS - PRINCIPAL BLDG
1. The Facades and Elevations of Principal Buildings shall be distanced from the Lot lines as shown.
2. Facades shall be built along the Principal Frontage to the minimum specified width in the table.

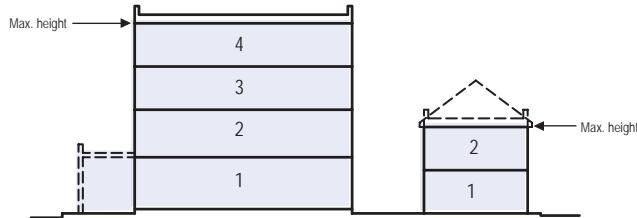


4.4 SPECIAL DISTRICT - NEIGHBORHOOD INDUSTRIAL



BUILDING HEIGHT

1. Building height shall be measured per Section 5.2.



A. BUILDING HEIGHT

1. Principal Building	4 stories max.
2. Outbuilding	2 stories max.

B. LOT OCCUPATION

1. Lot Width	18 ft min 180 ft max
2. Lot Coverage	80% max

C. BUILDING DISPOSITION (see Section 4.5)

1. Edgeyard	permitted
2. Sideyard	permitted
3. Rearyard	permitted
4. Courtyard	permitted

D. SETBACKS - PRINCIPAL BUILDING

1. Front Setback Principal	0 ft. min. 12 ft. max.
2. Front Setback Secondary	0 ft. min. 12 ft. max.
3. Side Setback	0 ft. min. 24 ft. max.
4. Rear Setback	3 ft. min.*
5. Frontage Buildout	80% min at setback

E. SETBACKS - OUTBUILDING

1. Front Setback	40 ft. max. from rear prop.
2. Side Setback	0 ft. min. or 2 ft at corner
3. Rear Setback	3 ft. max.

F. PRIVATE FRONTAGES (see Section 4.6)

1. Common Lawn	not permitted
2. Porch & Fence	not permitted
3. Terrace or L.C.	permitted
4. Forecourt	permitted
5. Stoop	permitted
6. Shopfront & Awning	permitted
7. Gallery	not permitted
8. Arcade	not permitted

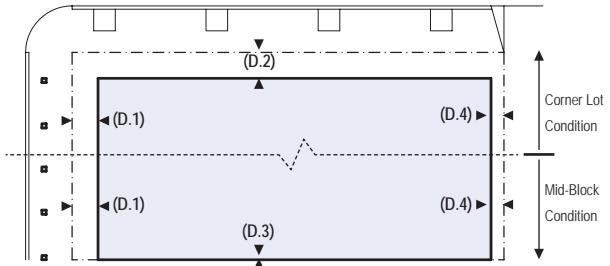
G. PARKING PROVISIONS

See Section 7.1

*or 15 ft. from center line of alley

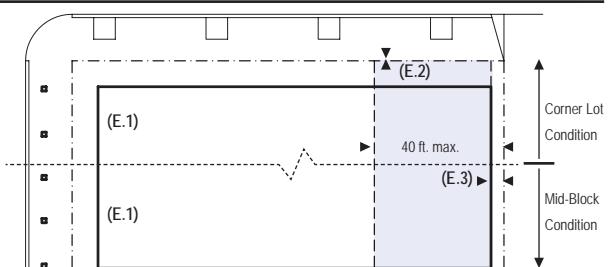
SETBACKS - PRINCIPAL BLDG

1. The Facades and Elevations of Principal Buildings shall be distanced from the Lot lines as shown.
 2. Facades shall be built along the Principal Frontage to the minimum specified width in the table.



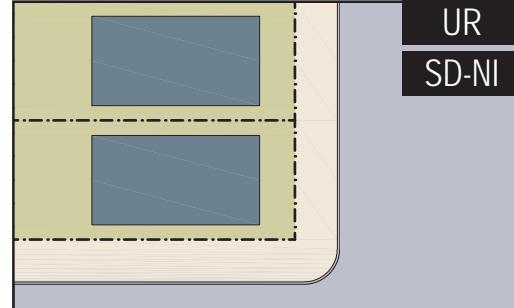
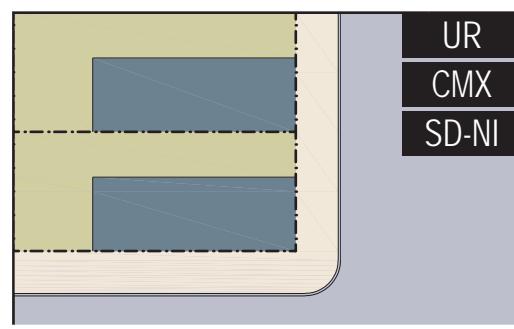
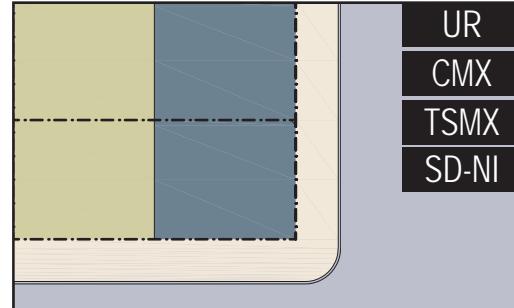
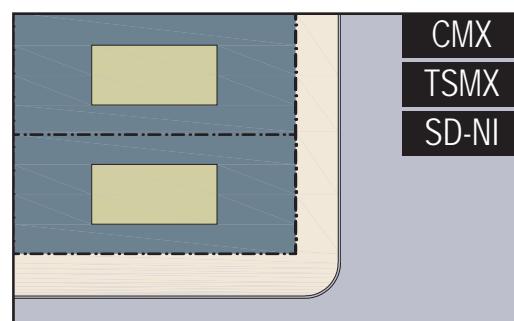
SETBACKS - OUTBUILDING

1. The Elevations of the Outbuilding shall be distanced from the Lot lines as shown.



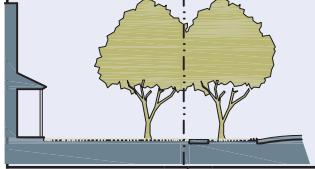
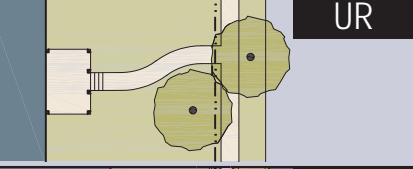
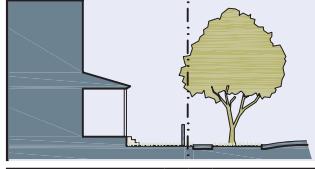
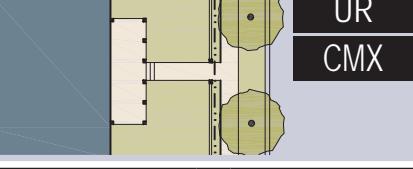
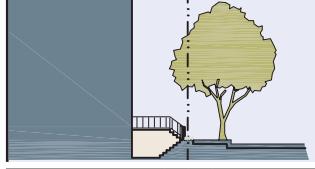
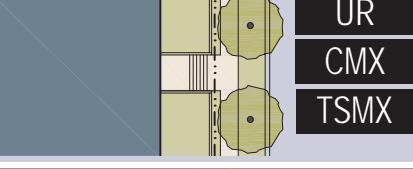
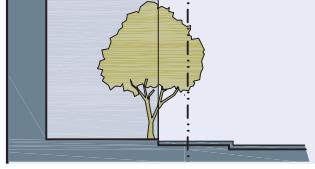
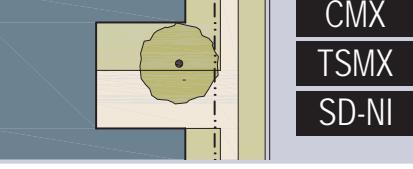
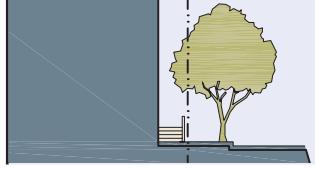
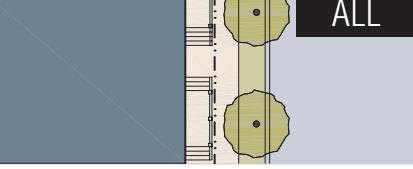
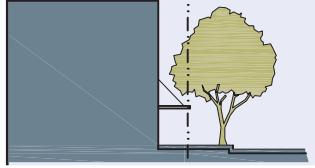
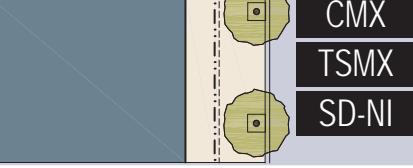
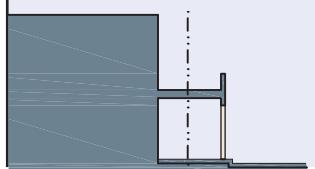
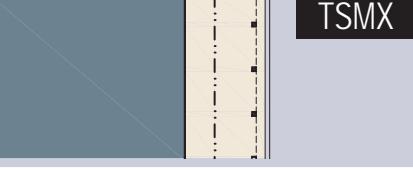
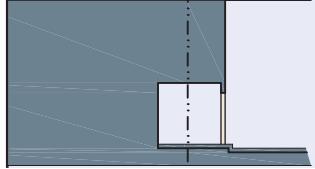
4.5 TABLE OF BUILDING DISPOSITION

This table approximates the location of the structure relative to the boundaries of each individual Lot, establishing suitable basic building types for each Transect Zone.

<p>A. Edgeyard: Specific Types - Single Family House, Cottage, Villa, Estate House, Urban Villa. A building that occupies the center of its Lot with Setbacks on all sides. This is the least urban of types as the front yard sets it back from the Frontage, while the side yards weaken the spatial definition of the public Thoroughfare space. The front yard is intended to be visually continuous with the yards of adjacent buildings. The rear yard can be secured for privacy by fences and a well-placed Backbuilding and/or Outbuilding.</p>	
<p>B. Sideyard: Specific Types - Charleston Single House, Double House, Zero Lot Line House, Twin. A building that occupies one side of the Lot with the Setback to the other side. A shallow Frontage Setback defines a more urban condition. If the adjacent building is similar with a blank side wall, the yard can be quite private. This type permits systematic climatic orientation in response to the sun or the breeze. If a Sideyard House abuts a neighboring Sideyard House, the type is known as a twin or double House. Energy costs, and sometimes noise, are reduced by sharing a party wall in this Disposition.</p>	
<p>C. Rearyard: Specific Types - Townhouse, Rowhouse, Live-Work unit, Loft Building, Apartment House, Mixed Use Block, Flex Building, Perimeter Block. A building that occupies the full Frontage, leaving the rear of the Lot as the sole yard. This is a very urban type as the continuous Facade steadily defines the public Thoroughfare. The rear Elevations may be articulated for functional purposes. In its Residential form, this type is the Rowhouse. For its Commercial form, the rear yard can accommodate substantial parking.</p>	
<p>D. Courtyard: Specific Types - Office Building, Apartment Building, Hotel, Patio House. A building that occupies the boundaries of its Lot while internally defining one or more private patios. This is the most urban of types, as it is able to shield the private realm from all sides while strongly defining the public Thoroughfare. Because of its ability to accommodate incompatible activities, masking them from all sides, it is recommended for workshops, Lodging and schools. The high security provided by the continuous enclosure is useful for crime-prone areas.</p>	

4.6 TABLE OF PRIVATE FRONTAGES

The Private Frontage is the area between the building Facades and the Lot lines. The Private Frontage of buildings shall conform to and be allocated in accordance with the District Standards.

	SECTION	PLAN
	LOT PRIVATE FRONTAGE	LOT PRIVATE FRONTAGE
	R.O.W. PUBLIC FRONTAGE	R.O.W. PUBLIC FRONTAGE
A. Common Lawn:		 UR
B. Porch & Fence:		 UR CMX
C. Terrace or Lightwell:		 UR CMX TSMX
D. Forecourt:		 CMX TSMX SD-NI
E. Stoop:		 ALL
F. Shopfront:		 CMX TSMX SD-NI
G. Gallery:		 TSMX
H. Arcade:		 TSMX

ARTICLE 5: GENERAL PROVISIONS

5.1 GENERAL LOT STANDARDS

5.1.1 Lot Frontage: All lots must front a street, square or common open space. (Exception: Buildings which are interior to a site that has buildings that otherwise meet the frontage requirement). Facades shall be built parallel to the Principal Frontage Line or to the tangent of a curved Principal Frontage Line, and along a minimum percentage of the Frontage width at the Setback, as specified as Frontage Buildout in Section 2.3 of the District Provisions.

5.1.2 Frontage Build-Out: In the absence of a building Facade along any part of a Frontage Line, a Streetscreen shall be built co-planar with the Facade in accordance with Section 7.3.3.

5.1.3 Infill Setbacks: Front and side setbacks must be consistent with those of surrounding buildings. In the case of an Infill Lot where there is not a consistent frontage within the block, setbacks shall match one of the existing adjacent setbacks as determined by the Community Development Director.

5.1.4 Setbacks on Substandard Right-of-Way: Where insufficient right-of-way exists (e.g., right-of-way only includes the pavement area) from which to measure appropriate setbacks, projects shall measure front setbacks from the back edge of the sidewalk as presumed by street sections noted in Section 9.4.

5.1.5 Corner Lots: Buildings located at street intersections shall place the main building, or part of the building, at the corner.

5.1.6 Pedestrian Entries from Frontage Line: Buildings shall have their principal pedestrian entrances on a frontage line.

5.1.7 Encroachments: The features listed below may encroach into a required yard.

A. **Ground Level Air-Rights Encroachments:** Awnings, Arcades, Canopies, and Galleries may Encroach the Sidewalk to within 2 feet of

the Curb but must clear the Sidewalk vertically by at least 8 feet.

B. **Upper Story Encroachments:** Bay windows, balconies and similar features projecting from the principal building may encroach up to 50% of the depth of the First Layer. With approval of the City or GDOT (whichever has authority over a street), upper story balconies or bay windows may encroach over the right of way a maximum of three (3) feet.

C. **Cornices and Gutters:** Cornices, eave overhangs, and similar projections (including gutters) may encroach up to two (2) feet into any required yard.

D. **Fences & Garden Walls:** Fences and garden/yard walls may encroach into required yards but, if higher than three and one-half (3 ½) feet, may not be placed within the site visibility triangle of a public street, private street or driveway contained either on the property or on an adjoining property.

E. **Handicapped Ramps:** Ramps for handicap accessibility and fire escapes that are required by the Accessibility Code may encroach into any required yard but may not be closer than three (3) feet to any property line.

F. **Porches, Decks, and Patios:** Uncovered and unenclosed porches, decks, patios, and other similar features not exceeding an average finished height above grade of 30 inches may encroach into the side and rear setback to within 5 feet of the property line.

G. **Steps and Stairs:** Uncovered and unenclosed steps and stairs may encroach up to 100% of the depth of any required street yard but may not encroach upon any public sidewalk.

5.2 HEIGHT

Building heights by district as specified in Article 3 shall be determined according to the provisions below.

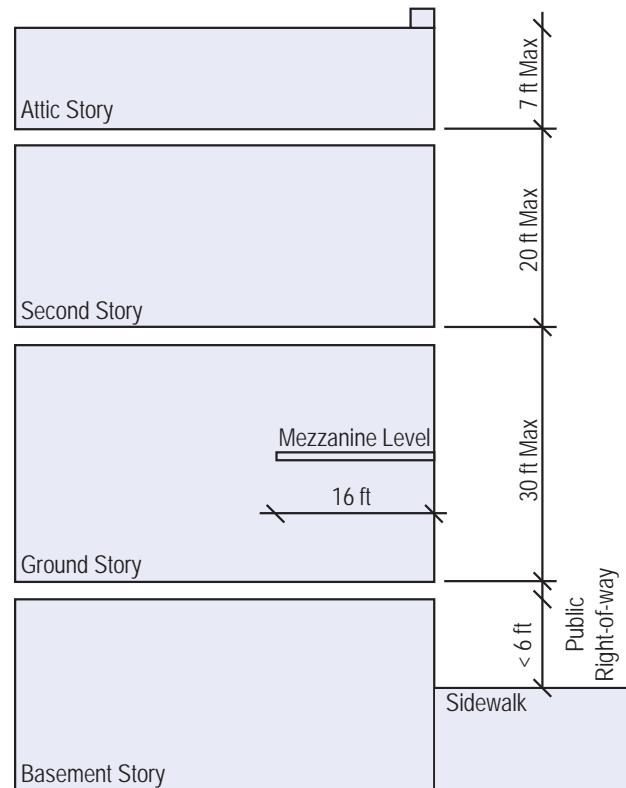
5.2.1 **Story:** A story is a habitable level within a building of no more than 20 feet in height from finished floor to finished floor except that a ground floor may be 30 feet from finished floor to finished floor.

- A. Unoccupied attics less than 7 feet in height and raised basements less than 6 feet in height (as measured from the average grade of the fronting sidewalk) are not considered stories for the purposes of determining building height.
- B. A mezzanine shall be considered a story if it is contiguous with at least 60% of the building's front façade, is designed to be occupiable, and maintains an average depth of at least 16 feet.
- C. A penthouse shall be considered a story if it exceeds one-third of the area of the roof. The under-roof area with dormers does not count as a story.

5.2.2 **Dimensional Height Standards:** Where a specific dimension is used in the calculation of height it shall be measured from the highest ground level at the structure foundation to the highest point of the structure excluding chimneys and antennas.

5.2.3 **Items Not Included in Height Calculations:** The height limitations of this Code shall not apply to church spires, belfries, cupolas, and domes not intended for human occupancy, monuments, water towers, mechanical penthouses (provided they are set back 20 feet from the front elevation), observation towers, transmission towers, chimneys, smokestacks, conveyors, flagpoles, masts and antennas (provided evidence from appropriate authorities is submitted to the effect that such building or buildings will not interfere with any airport zones or flight patterns).

5.2.4 **Parking Garage Height:** In a Parking Structure or garage, each above-ground level counts as 8/10 (80%) of a Story regardless of its relationship to habitable Stories.



ARTICLE 6: BUILDING DESIGN STANDARDS

6.1 CIVIC/LANDMARK BUILDINGS

The Civic/Landmark building type includes prominent public buildings such as libraries and city halls; semi-public buildings such as museums and colleges; and private buildings such as hospitals and churches. Because of the unique characteristics of the Civic/Landmark Building, it shall be subject to Design Review through a Conditional Use Permit in accordance with Section 1.4. As part of this review process, the applicant may request modifications from the applicable district standards. However, all such modifications shall otherwise conform to the general principles for Civic/Landmark buildings as follows. They shall:

- be sited to terminate a street vista whenever possible and must incorporate appropriate prominent features, designs, and entrances to celebrate a visual termination.
- incorporate detailing and materials that are authentic to the intended style.
- in lieu of a required building frontage and minimum setback line may include a pedestrian plaza, courtyard, or similar landscaped area.
- be permitted to incorporate building entrances for civic buildings only may be raised above the street elevation and accessed via a monumental stair.
- respect the character of the fronting streets through the provision of a pedestrian-friendly orientation including clear entrances from the street and primary facades with fenestration of a proportion, quantity and arrangement appropriate to and reflective of the building's architectural style.

6.2 GENERAL ARCHITECTURAL STANDARDS

6.2.1 **Architectural Style:** The building design standards of this Chapter intentionally do not mandate a particular style and permit a wide variety of architectural expressions. However, when a design exhibits a known architectural style (e.g., Colonial, Victorian, Italianate, Classical Revival) the details

shall be consistent with that style unless the local architectural vernacular of the region provides an alternate precedent for a detail or element.

6.2.2

Compatibility: Adjacent buildings should relate in similarity of scale, bulk, height, architectural style, materials and/or configuration.

6.2.3

Proportions: Windows, doors, columns, eaves, parapets, and other building components shall be proportional to the overall scale of the building. All windows shall be vertically oriented with a height greater than width (unless the special style dictates a different proportion), including display windows but not transoms or decorative attic windows.

6.3

RESIDENTIAL DESIGN STANDARDS

6.3.1

Applicability: The standards of this section shall apply to those structures in the UR District or those buildings in the CMX, TSMX, and SD-NI districts which have primarily residential frontages (including live-work). These standards shall not apply to those TS-MX frontages designated as TSMC-Restricted Frontage.

6.3.2

Roof and Eaves

- A. Main roofs on residential buildings must have a pitch between 8:12 and 12:12. Monopitch (shed) roofs are allowed only if they are attached to the wall of the main building. No monopitch roof shall have a pitch less than 4:12. Flat Roofs will only be permitted subject to Conditional Use Permit-Design Review. Flat roofs are not permitted in the UR District.
- B. Flush eaves must be finished by profiled molding or gutters.
- C. Roof Materials: Residential roofs must be clad in wood shingles, standing seam metal, terne, slate, dimensional asphalt shingles or synthetic materials similar and/or superior in appearance and durability. All roofs shall have a minimum 25-year roof and no visible roll roofing.

6.3.3

Building Walls

- A. Materials: Residential building walls must be primarily clad in brick, wood clapboard,

cementitious fiber board, wood shingle, wood drop siding, wood board and batten, stone, or synthetic materials similar and/or superior in appearance and durability. Stucco or EIFS may be used as a secondary material only (less than 30% of the total wall area and only in locations eight feet (8'-0") or more above grade).

- B. Building facade materials, with the exception of corner treatments and columns, shall be combined only horizontally, with the heavier below the lighter.
- C. Chimneys shall extend to the ground.
- D. Crawlspace: The crawlspace of buildings, if provided, must be enclosed.

6.3.4 Windows and Doors

- A. Blank, windowless walls are prohibited. At least 30% of the total wall area of each façade that face a public street must be transparent windows (excluding glass block) or doorways (egress only doorway excluded).
- B. Entry facade window trim shall not be flush with the exterior wall and shall have a minimum relief of one-quarter (1/4) inch from the exterior wall.
- C. Doors and windows that operate as horizontal sliders are prohibited except where renovating an historic building with this window type.
- D. Window frames shall be recessed a minimum of two (2) inches from the exterior facade.

6.3.5 Building Entrances

- A. All buildings with more than four (4) Sidewalk Area level residential units along a single street shall have individual entrances to such units directly accessible from the required Sidewalk Area or adjoining Open Space. All walkways providing such access shall be shared between no more than two (2) adjacent units.
- B. Raised Entries: To provide privacy, all residential entrances within 15 feet of the sidewalk must be raised from the average sidewalk grade a minimum of 30 inches. Secondary subgrade or lightwell entrances are permitted.
- C. Porches and Stoops: Usable porches and

stoops shall form a predominant motif of the building design and be located on the front and/or side of the building to respond to the climatic conditions and the vernacular of the region. Useable front porches are covered and are at least 6 feet deep and 12 feet in width. Stoops and entry-level porches shall not be enclosed with screen wire or glass.

- D. Exterior entry steps shall have enclosed risers.

6.4 MIXED-USE AND COMMERCIAL BUILDINGS DESIGN STANDARDS

6.4.1 Applicability: The standards of this section shall apply to those structures in the CMX, TSMX, and SD-NI districts except those which have primarily residential frontages (including live-work).

6.4.2 Roof and Eaves

- A. Flat roofs are permitted but shall be detailed with a parapet to conceal all rooftop appurtenances.
- B. Flush eaves must be finished by profiled molding or gutters.
- C. All roofs shall have a minimum 25-year roof and no visible roll roofing.

6.4.3 Façade Treatment and Building Walls

- A. Architectural elements like windows and doors, masonry piers, transoms, cornice lines, window hoods, awnings, canopies, and other similar details must be used on all facades facing public rights-of-way.
- B. Materials: Commercial building walls shall be brick, architectural pre-cast concrete, hard-coat stucco, cut stone (residential applications such as field stone and ledge stone are prohibited), cementitious fiber board, or wood clapboard. Cement fiber and wood components of a building shall not comprise more than 25% of the total building exterior. Regular or decorative concrete block and EIFS-type stucco may be used on building walls not visible from a public street or as an accent material only. All accessory buildings must be clad in materials similar in appearance to the principal structure.

- C. Porch and arcade columns shall be proportional to the building's scale but in no case less than a minimum diameter of seven (7) inches.
- D. Entry facade window trim shall not be flush with the exterior wall and shall have a minimum relief of one-quarter (1/4) inch from the exterior wall.
- E. Doors and windows that operate as horizontal sliders are prohibited except where renovating an historic building with this window type.
- F. Window frames shall be recessed a minimum of two (2) inches from the exterior facade.

6.4.4 Canopies and Awnings: Awnings shall be of fabrics, canvas, metal, or similar material. If provided they should project a minimum of four (4) feet from the façade. Internally lit awnings and canopies that emit light through the awning or canopy material are prohibited.

6.4.5 Ground Level Detailing

- A. Minimize Blank Walls: No Street Facade length shall exceed twenty (20) feet without intervening glass display windows or glass entry doors.
- B. Ground-Level Glazing: Window glazing and doorways must be the predominant features in the street-level facade. Exterior burglar bars, fixed "riot shutters," or similar security devices must not be visible from the public right-of-way. All ground level windows must provide direct views to the building's interior extending a minimum of 6 feet behind the window. Any interior drop ceiling shall be recessed a minimum of eighteen (18) inches from the display window or transom opening.
- C. Transparency Zone: Transparent glazing must extend from a base of contrasting material (not exceeding 30 inches in height above the adjacent sidewalk grade) to at least the height of the door head not less than ten (10) feet and not more than twelve (12) feet above the Sidewalk. "Transparent" shall mean clear and unpainted, and shall not be tinted such that views into the building are obstructed, with the exception of transoms, which may be prism glass. Glazing must extend from the corner of the front facade

for a depth equal to:

- 1. TSMX-Restricted Frontage (Shopfront, Gallery, or Arcade): At least seventy (70) percent of the length of building along all street side building facades.
- 2. All Other Mixed-Use/Commercial Façades: At least sixty (60) percent of the length of building along all street side building facades.
- D. Habitable space must be provided for a minimum of the first twenty (20) feet in depth behind the Street Facade
- E. Cornices: A cornice or cornice line a minimum of eight (8) inches in height shall be provided above the sign band.

6.4.6 Building Entrances

- A. Pedestrian Entrance from Frontage Required: All buildings and ground level tenants shall provide a functioning entrance, open during normal business hours for ingress and egress, facing the fronting street. Buildings located on street corners may have a corner entrance.
- B. Maximum Entrance Setback: Primary pedestrian entrances on the Street Facade which shall be recessed a maximum of seven (7) feet from the exterior facade, and shall remain unlocked during normal business hours, and have a surface area that is a minimum of seventy (70) percent glass.
- C. Ventilation grates or emergency exit doors located at the first floor level in the building facade, which are oriented to any public street, must be decorative. Unless otherwise required by the building code, such grates and doors must be located away from streets designated as Restricted Frontages.

ARTICLE 7: SITE STANDARDS

7.1 PARKING REQUIREMENTS

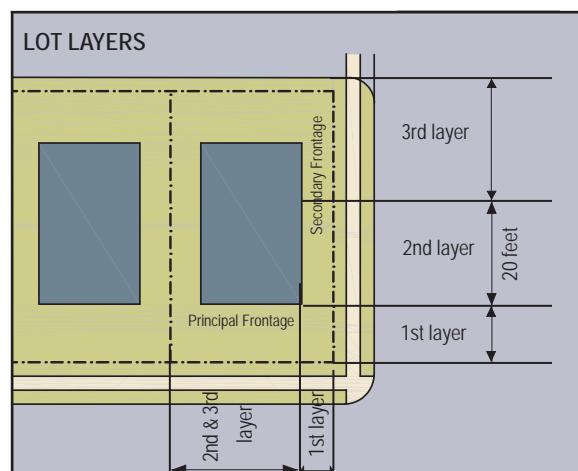
7.1.1 Maximum Parking Allowances: In lieu of minimum parking requirements that result in the under-utilization of land for parking of cars, encourage the discontinuity of land uses, and create public expense for stormwater management, this code establishes a maximum allowance for the provision of parking areas within the City.

A site may seek a variance to exceed the maximum number of spaces allowed by submitting a study prepared by a certified planner and/or professional market analyst (e.g., CCIM) which demonstrates that the use intended for the site has a regular demand for a greater number of spaces and that it is infeasible to provide for that demand through on-street, shared or leased existing capacity nearby, transit or other means. Any parking which exceeds the maximum allowed must be developed with permeable surfaces only.

	UR	CMX	TSMX	SD-NI
A. RESIDENTIAL	3.0 / dwelling	2.0 / dwelling	1.25 / dwelling	1.25 / dwelling
B. LODGING	1.25 / bedroom			
C. OFFICE/ SERVICE EDUCATIONAL/INSTITUTIONAL AUTOMOTIVE INDUSTRIAL/WHOLESALE/STORAGE	3.0 / 1000 sq. ft.	3.5 / 1000 sq. ft.	2.25 / 1000 sq. ft.	2.75 / 1000 sq. ft.
D. COMMERCIAL/ ENTERTAINMENT	n/a	3.5 / 1000 sq. ft.		
E. CIVIC	4.0 / 1000 sq. ft.			

7.1.2 Parking Location: Off-Street parking shall be located and accessed as follows:

	Parking Location	Site Access/Driveway
UR	1st Layer as part of a driveway (a maximum of 10 ft in width) and 2nd & 3rd Layer (minimum on-site driveway length, if provided, is 20 ft)	Rear Lane, Rear Alley, or 12 ft Maximum Width Driveway (for Lots greater than 60 ft in width at the Frontage Line)
CMX	2nd & 3rd Layer only	Rear Alley or Single Driveway per frontage
TSMX	2nd & 3rd Layer only	Rear Alley only
SD-NI	Unrestricted for existing structures and limited to 2nd & 3rd Layer only for new structures	Rear Alley or Single Driveway per frontage



7.1.3 **Bicycle Parking:** A minimum of one bicycle rack shall be provided within the Public or Private Frontage for every ten vehicular parking spaces. Bicycle parking shall be:

- A. Separated from automobile parking by a physical barrier or by at least five feet where automobile parking is prohibited and shall be located as close to public and employee entrances as possible without interfering with the flow of pedestrian and vehicular traffic.
- B. Conveniently located near entrances (where multiple entrances exist, the racks shall be dispersed among the entrances rather than located in large groupings)
- C. Located so as not to interfere with pedestrian access.

7.2 **DRIVEWAYS AND CROSS-ACCESS CONNECTIONS**

7.2.1 **Mid-block Lot Driveways:** A mid-block lot without access to a side street or alley is permitted one driveway with a maximum width of 24 feet.

7.2.2 **Corner Lot Driveways:** Corner lots may take access from side street only. Preference for access shall be given to the minor street. Driveways shall be located as far from the adjacent public street intersection as practical to achieve maximum available corner clearance, with consideration of property limits, adjacent curb cuts, topography, and existing drainage facilities. In no instance shall a driveway be located less than one hundred feet (100'-0") from an intersection.

7.2.3 **Driveway Widths:** Vehicular entrances to parking lots, garages, and Parking Structures shall be no wider than 24 feet at the Frontage.

7.2.4 **Cross Access Connections:** Cross-access easements and connections to adjoining properties shall be required to connect driveways. The following guidelines shall apply:

- A. At least 1 connection is provided at all lot lines that are coincident for at least 60 feet with another lot that has primary frontage on the same street.

- B. The connection is at least 20 feet in width.
- C. If applicable, the connection aligns with a connection that has been previously constructed on an adjacent property.
- D. The connection has a slope of no greater than 15 percent.
- E. The connection is placed in an area which will not require the removal of significant natural features such as wetlands or trees with a caliper of four (4) inches or more.
- F. In the event these conditions cannot be met without undue hardship, or if such connections would create undesirable traffic flow, the Community Development Director may waive the connection requirement.
- G. Where a parking lot connection is required an easement for ingress and egress to adjacent lots shall be recorded by the property owner with the Henry County Register of Deeds in the form of an easement plat.

7.3 **SITE LANDSCAPING**

7.3.1 **Front Yard Provisions (UR, CMX & SD-NI)**

- A. For buildings set back more than 2 feet from the public sidewalk, ground plantings shall be provided within 2 feet of the building in the front setback.
- B. The first Layer may not be paved, with the exception of permitted Driveways.
- C. Lawn shall be permitted By Right.
- D. A minimum of one tree shall be planted within the first Layer for each 40 feet of Frontage Line or portion thereof.
- E. Trees shall be a single species for any individual block face to match the species of Street Trees on the Public Frontage as shown in Section 2.6, or as part of the Adopted Plan.

7.3.2 **Parking Area Landscaping**

- A. **Required Plantings:** One (1) Shade Tree and eight (8) shrubs per 10 parking spaces. No parking space shall be further than 50 feet from the trunk of a canopy tree.

B. **Parking Area Screening:** All parking areas visible from the right-of-way shall be screened from view. Parking areas in the side yard shall have a 3 foot high screen along the street side. Shrubs, brick walls (using brick that matches or complements the adjacent building), wrought iron fencing with landscaping, or any combination thereof may be used. If landscaping is used, the minimum planting area width shall not be less than 4 feet. All landscape screening shall be an evergreen variety which provides year-round screening.

7.3.2 Streetscreens

Interruptions in the street wall discourage pedestrian activity. Streetscreens serve to minimize these interruptions by extending the street wall formed by storefronts and building facades with semi-opaque screens

- A. **Minimum Height:** Six (6) feet above grade.
- B. **Materials:** Streetscreens shall be constructed of a material matching the adjacent building facade. The Streetscreen may be replaced by a hedge or fence subject to approval of the Community Development Director.
- C. **Openings:** Streetscreens shall have openings no larger than necessary to allow automobile and/or pedestrian access. Above 42 inches from the ground, the Streetscreen shall be at least 50% void.

7.3.3 Fences

	UR, CMX & SD-NI	TSMX
A. First Layer	4 ft maximum height (wrought iron or picket only)	6 ft maximum height (wrought iron only)
B. Second & Third Layer	8 ft maximum height (wood board or chain link permitted – razor wire is not permitted)	8 ft maximum height (wood board or chain link permitted – razor wire is only permitted in the third layer for Vehicle/Heavy Equipment Rental/Sales for storing vehicles/heavy equipment under repair.)

C. The use of barbed wire, razor wire, chain link or similar elements is prohibited except as noted in 7.3.2.B above.

7.4 UTILITIES, TRASH & LOADING AREAS

Underground Utilities: All projects entailing new construction of a principal structure or substantial modification of an existing principal structure (in accordance with Section 1.5.5) shall install underground utilities. Underground utilities (and associated pedestals, cabinets, junction boxes and transformers) shall be located in alleys, where possible.

Trash Containment Areas: All trash containment areas, including compactors and dumpsters, shall be entirely screened from view of any Public Way, Public Open Space or Sidewalk Area, using opaque walls of materials which match the primary structure. If the device is not visible from a public right-of-way or park, then it need not be screened.

7.4.3 Mechanical and Utility Equipment:

- A. All equipment shall be located to the side or rear of the principal structure or on rooftops and shall not be visible from any Public Way, Public Open Space or Sidewalk Area.
- B. When located on the ground, equipment must be located in the rear or side yard and screened. Screens using opaque walls made of materials which are compatible with the exterior of the building.
- C. When located on rooftops all rooftop equipment shall be incorporated in the design of the building and screened with materials similar to the building. Setbacks from the edge of the roof or a screen higher than the equipment may be used.
- D. If the equipment is not visible off-site from a public right-of-way, then it need not be screened.

7.4.4 Loading Docks: Loading docks and service areas shall be permitted on frontages only by Conditional Use Permit. Loading docks shall be entirely screened from view of any Public Way, Public Open Space or Sidewalk Area, using opaque walls.

ARTICLE 8: SIGNAGE

8.1 APPLICABILITY

The provisions of this chapter shall take precedence over the signage regulations found in 17.108.010 of the McDonough Code of Ordinances.

8.1.1 **Exceptions:** The following changes are not subject to the standards of this Article:

- A. Change of copy on signs specifically designed for changeable copy.
- B. Cleaning, electrical repair, repainting and other maintenance of a sign (note: such alterations may require other permits)
- C. The repair/repainting of a sign.

8.1.2 **Limitation on Non-conforming Signs:** Signs erected after the passage of this Article shall conform to the standards set forth herein. All legal nonconforming signs in existence as of the effective date of this chapter may be continued and shall be maintained in good condition. Nothing in this ordinance shall prevent the normal maintenance of an existing non-conforming sign. However, a nonconforming sign shall not be:

- A. Changed to another type or shape of nonconforming sign; provided, however, the copy, content, or message of the sign may be changed so long as the shape or size of the sign is not altered.
- B. Structurally altered.
- C. Physically expanded, enlarged, or extended in any manner.
- D. Reestablished after discontinuance for sixty (60) days.
- E. Reestablished after the sign is removed, except for normal maintenance.
- F. Reestablished after damage or destruction where the estimated expense of reconstruction exceeds fifty (50) percent of the appraised replacement cost of the sign in its entirety

8.3 GENERAL PROVISIONS

8.3.1 **Standards Applicable to All Permitted Signs:**

Permitted signs shall be located outside of the street right-of-way, behind or above (as permitted) sidewalk areas and outside of the sight triangle in accordance with the standards of this Article.

8.3.2 **Noncommercial Messages:** Any sign, display or device allowed under this chapter may contain, in lieu of any other copy, any otherwise lawful noncommercial message.8.3.3 **Computation of Sign Face:**

A. The area of a sign face shall be deemed to be the entire area within the smallest polygon that will encompass the extreme limits of the writing, representation, emblem, or other display on the sign that can be reasonably calculated.

B. The area shall also include any material or color forming an integral part of the background of the display or used to differentiate the sign from the backdrop or structure against which it is placed.

C. Frames or structural members not bearing informational or representational matter shall not be included in computation of the area of a sign face unless they are constructed and/or finished with a material which draws attention to or makes the supporting structure an integral feature of the advertising display..

8.3.4 **Illumination**

A. Signage may be internally or externally lit.

B. Signage on the interior of storefront glazing may be neon lit.

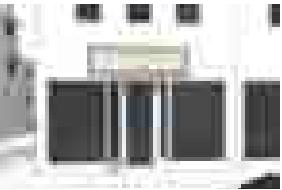
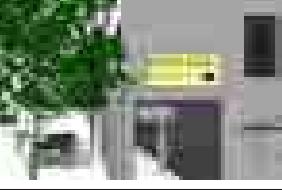
C. Channel letter wall signs may be internally lit or backlit.

D. Flashing signs and internally illuminated cabinet signs are prohibited.

8.4 PERMITTED SIGNAGE

	Permitted Sign Types	Specific Applicability	Maximum Area per Sign Face	Maximum Height	Other Requirements	Maximum Number per Tenant
Attached Signs	Wall (Primary Frontage)	Front Facades	10% of wall (aggregate of all signage)	n/a	Signs may project a max of 4 ft and shall have an 8 ft clearance above sidewalk/right-of-way	1 per tenant space (corner tenants may utilize secondary frontage for 1 additional sign)
	Wall (Secondary Frontage)	All other facades	5% of wall (aggregate of all signage)	n/a		
	Theater Marquee	Theaters Only (live performance or motion picture) - No other Wall sign is permitted	Maximum Projection from facade is 4 ft -	16 ft	Canopy elements may extend to within 2 ft of the curb and and shall have an 8 ft clearance above sidewalk/right-of-way	1
	Window/Door	Businesses and Live/Work Units	25% of window and/or door area	n/a	n/a	n/a
	Tenant Identification	Identifies tenants in a building	6 sq ft	n/a	1	1
	First Floor Projecting	Businesses (excluding Home Occupations) located in high pedestrian traffic areas	6 sq ft - Maximum Projection from facade is 4 ft	18"	8 ft clearance above sidewalk/right-of-way	1
	Awning	Businesses (excluding Home Occupations)	50% of Awning area. Copy Area of the sign is limited to the drip flap. Logos may be placed on the awning itself.	---	8 ft clearance above sidewalk/right-of-way	1
	Monument	Civic Buildings & Buildings with a setback greater than 20 ft	32 sq ft	5 ft	1	1
Freestanding Signs	Post & Arm	Business & Home Occupation	4 sq ft	3.5 ft	1	1
	A-Frame Board	Businesses	6 sq ft	3 ft	Must be removed every day at close of business	1

8.4.1 Attached Signs

	Wall Signs (Primary Frontage): Flat signs, channel lettering, or three dimensional signs which are painted on, or attached (parallel or perpendicular) to the wall of a building.
	
	
	Theater Marquee Signs: Three dimensional signs which project out from the facade & may extend up to four feet above the roof line.
	Window/Door Signs: Flat signs or lettering which are painted or attached to window or door of a building.
	Tenant Identification Signs: Incidental signs that list the tenants and their of a multi-tenant building that are accessed via a common entry, denote hours of operation, street address, etc..
	First Floor Projecting Signs: Pedestrian scaled signs mounted to the building facade or underside of a balcony, awning, canopy or arcade which can be read from both sides.



Awning Signs: Signs integrated into traditional storefront awnings that project over a sidewalk from the building façade.

- A. **Sign Area:** The maximum permitted aggregate area of Attached Signs does not include the area of any windows or doorways. Only one face of signs with two symmetrical sides shall be counted towards the maximum.
- B. The preferred location for Attached Signs is above the first floor window and below the window sill of second floor on multi-story buildings, or on a sign frieze area of the building if original to the building.
- C. Clearance from Curb/Street: No sign or canopy/awning may overhang any closer than two (2) feet from the face of the existing or proposed curb. The clearance of all such signs shall be eight (8) feet above the sidewalk.
- D. Decorative Flags (except American and State of Georgia Flags) shall be counted towards the maximum signage area permitted in the district. Only one (1) flag for every 25 feet of linear building frontage is permitted.

E. Tenant Signage

1. Each tenant that has a principal pedestrian entrance from the Frontage may be permitted One (1) Wall sign, the total area of which shall count toward the maximum allowable aggregated area for the entire facade.
2. Each tenant shall be permitted use of any combination of the following: Window/Door Signs, Projecting Signs, Awning Signs.

F. Theater Marquee Signage: Only buildings which house theaters (live performance or motion picture) as a primary tenant may utilize a Theater Marquee sign.

1. Such signs may extend above the roof line a maximum of four (4) feet.
2. Marquee signs may include changeable copy to reflect current or upcoming shows and/

<p>or performances. Such signage may not extend above the bottom sill of the 2nd story window.</p>	<p>8.5 OTHER PERMITTED SIGNAGE</p>
<p>8.4.2 Freestanding Signs</p>	<p>Monument Signs: Signs erected independent of a building with an integral support structure.</p>
	<p>Post & Arm Signs: Minor or secondary signs which are used to identify the address of a building, or to identify the profession, family, organization, business, etc., occupying the building.</p>
	<p>A-Frame Signs: Pedestrian scaled non-permanent signs which are used to display menus, daily specials, sale announcements, etc.</p>
<ul style="list-style-type: none"> A. Monument/Post & Arm signs are permitted only when the front yard (the area between the principal structure and the right-of-way) is greater than 20 feet. B. All Monument/Post & Arm shall be located a minimum of 5 feet behind the street right-of-way. C. No Monument/Post & Arm shall be located in any required buffer yard or within 10 feet of a side property line or within any required sight triangle. D. Monument signs shall include a base (min. 1 foot in height) constructed of rock, brick, or other masonry material or permanent landscaping. E. A-Frame Signs (limited to one per tenant) are permitted regardless of the structure's setback but may not restrict the useable sidewalk width below ADA standards (5 feet minimum). 	<p>8.5.1 Governmental Signs</p> <ul style="list-style-type: none"> A. Signs posted by various local, state and federal agencies in the performance of their duties such as regulatory signs, welcome signs and traffic signs. B. Signs installed under governmental authority which note the donation of buildings, structures or streetscape materials (such as, but not limited to benches, park facilities, etc.). <p>8.5.2 Flags, etc.: Flags or insignia of any nation, organization of nations, state, county or municipality, any religious, civic or fraternal organization, or any educational or cultural facility and/or any one corporate flag per lot provided the height of any pole shall not exceed the maximum building height for the district.</p> <p>8.5.3 Temporary Holiday Decorations: Temporary decorations or displays, when such are clearly incidental to and are customarily and commonly associated with any national, local or religious holiday/celebration.</p> <p>8.5.4 Window Displays: Merchandise, pictures or models of products or services that are incorporated as an integral part of a window display.</p> <p>8.5.5 Building Marker Signs: Each building, regardless of the number of tenants is permitted one (1) sign denoting the name of the building sign cut or etched into masonry, bronze or similar material on a building and which is an integral part of the building's design and architectural character.</p> <p>8.5.6 Legal and Warning Signs</p> <ul style="list-style-type: none"> A. Signs erected to warn of danger or hazardous conditions such as signs erected by public utility companies or construction companies. B. Signs required for or specifically authorized for a public purpose by any law, statute or ordinance. C. Signs that display information pertinent to the safety or legal responsibilities of the general public with regard to a particular piece of property shall be located on the premises to

which the information pertains. No advertising may be affixed to such a sign.

8.5.7 Occupant/Street Number Signs

- A. Signs not exceeding two (2) square feet and not illuminated, bearing property numbers, post office box numbers, names of occupants, or other identification of premises not having commercial connotations. All such signs must be placed in such a manner as to be visible from the street.
- B. Unit identification numbers shall be located on the front wall within eighteen (18) inches of the entrance, or if not feasible architecturally, prominently displayed on the building. Unit numbers for single-family dwellings only may, in lieu of being located on the front wall, be located on the mail boxes or similar-sized surface attached thereto.

8.5.8 Vending Machine, Automatic Teller and Gasoline Pump Signs: Signs attached to and made an integral part of a vending machine, automatic teller machine or gasoline pump if advertising or giving information about the products or services dispensed or vended by that machine.

8.5.9 Directional Signs on Private Property

- A. Directional signs must be located on the premises to which directions are indicated.
- B. Such signs may not exceed three (3) feet in height if freestanding.
- C. Directional signs may not exceed four (4) square feet per face.
- D. Such signs may contain no copy (i.e., company name or logo) other than directional information.
- E. Illumination of such signs shall be as permitted for on-premises signs in the land development district where the sign is located.
- F. No more than two (2) signs per entrance or exit shall be permitted.
- G. Generic, non-advertising, directional, realty signs on private property shall be permitted with the owner's permission. Such signs shall not exceed two (2) square feet in size.

8.5.10 Incidental Signs

- A. Signs containing information necessary or convenient for persons coming on a premises shall be located on the premises to which the information pertains.
- B. No advertising may be affixed to such a sign.
- C. Such signs must be single-faced only and wholly attached to a building (may be located on windows or doors).

8.5.11 Real Estate Signs

- A. Only one (1) sign is allowed per street frontage.
- B. Such signs may not be illuminated.
- C. Such signs may be no greater than four (4) square feet in area (all types of signs) and four (4) feet in height (if freestanding) when located on a residential property.
- D. Such signs may be no greater than sixteen (16) square feet in area (all types of signs) and eight (8) feet in height (if freestanding) for non-residential properties or residential properties exceeding two (2) acres, except that such signs may not exceed the maximum height and size for permanent signs within the district.
- E. Real estate signs shall be removed within one (1) day after the closing of the sale, rental or lease of the property.
- F. Such signs shall only be located on property for sale or lease.

8.5.12 Political Signs

- A. Such signs shall not be illuminated.
- B. Political signs may not be located within a public street right-of-way and shall not be attached to trees or utility poles or on publicly-owned property.
- C. Such signs may not exceed four (4) square feet in area and four (4) feet in height if freestanding.
- D. Political signs may be displayed during a period beginning with the established filing date for an election and concluding fifteen (15) days after the election. In the event of a runoff election, political signs for the candidates involved may

remain on display until fifteen (15) days after the runoff election.

8.5.13 Temporary Signs

- A. **Window Signs:** Temporary signs which are affixed to the inside of a window and which do not exceed a cumulative total for all such signs of sixteen (16) square feet in area per establishment are allowed.
- B. **Special Event Signs:** Signs may be erected by public or non-profit organizations such as schools and churches for promoting special events as follows:
 1. Signs for public events such as fund drives, fairs, festivals, sporting events, etc. may be displayed for a period of thirty (30) days and may be allowed on- or off-premises. Such signs shall be removed within fourteen (14) days of the end of the special event.
 2. Such signs shall not be illuminated.
 3. Such signs are limited to four (4) square feet in area per display surface and four (4) feet in height.
- C. **Yard Sale Signs**
 1. Such signs may be located on-premises only and may not be located within a public right-of-way nor placed on a tree, street sign or utility pole.
 2. Such signs may not be illuminated.
 3. Yard sale signs are limited to four (4) square feet in area and four (4) feet in height.
 4. One (1) yard sale sign is allowed per street frontage.
 5. Such signs must be removed within seven (7) days of erection.

8.6 PROHIBITED SIGNS

The following signs are prohibited:

8.6.1 Off Premises Signs: All off-premises signs unless specifically allowed elsewhere in this chapter are prohibited.

8.6.2 Portable or Movable Signs: All portable signs are

prohibited, except those associated with gasoline stations, specifically those denoting gasoline prices, gas types and other petroleum related signage. Such signs must be located at the pump island.

8.6.3

Roof Signs: Roof signs are prohibited; provided however, that signs on the surfaces of a mansard roof or on parapets shall be permitted provided that the signs do not extend above the mansard roof or parapet to which they are attached.

8.6.4

Animated/Flashing or Signs of Illusion: Except for otherwise approved time and temperature signs, signs displaying blinking, flashing or intermittent lights, animation, and moving parts or signs giving the illusion of movement are prohibited. Time and temperature signs that rotate or move are not permitted.

8.6.5

Signs Resembling Official Signs: Any sign that imitates an official governmental sign, or violates the Law of the State relating to outdoor advertising, is prohibited.

8.6.6

Signs Resembling Traffic Control Signs

- A. Any sign which by color, location or nature may be confused with official highway signs, warning signs, traffic signals or other regulatory devices is prohibited.
- B. Any sign that uses the word "STOP", "SLOW", "CAUTION", "DANGER", or any other word which is likely to be confused with traffic directional and regulatory signs is prohibited.
- C. Any sign located in a manner or place which might constitute a traffic hazard is prohibited.

8.6.7

Signs on Roadside Appurtenances: Signs attached to or painted on utility poles, telephone poles, trees, parking meters, bridges and overpasses, rocks, other signs, benches and refuse containers, etc. are prohibited unless specifically allowed elsewhere in this chapter.

8.6.8

Abandoned Signs or Structures

- A. Signs that advertise an activity or business no longer conducted on the property on which the sign is located are prohibited. Conforming signs

designed for changeable copy may be covered instead of removed.

- B. Sign structures on which no sign is erected are prohibited.
- C. Such signs or sign structures must be removed within thirty (30) days of becoming an abandoned sign or sign structure.

8.6.9 Signs Obstructing Access or that are Unsafe: Any sign that obstructs free ingress or egress from a driveway or a required window, door, fire escape, stairway, ladder, or other required opening is prohibited. All wiring shall be contained in conduit or enclosed in poles or raceways. In no case shall the wiring be exposed to the public.

8.6.10 Signs Installed on Public Property: Any sign installed or placed on public property or within a public right-of-way (except as otherwise permitted) shall be forfeited to the public and is subject to confiscation and disposal.

ARTICLE 9: STREETS AND CONNECTIVITY**9.1 STREETSCAPE IMPLEMENTATION****9.1.1 Complete Streets**

The City of McDonough embraces the principles of Complete Streets. New and retrofitted streets within the City shall be designed in a manner to balance the needs of all anticipated users, regardless of their selected mode of travel. The design of facilities shall adhere to the street sections and typologies defined as part of this Code and be consistent with the designated surrounding land use context within which the facility is proposed to be implemented. This Policy applies to all public rights-of-way within the City, including state, county, and local facilities, and shall be applied to new construction and retrofits of existing facilities, including resurfacing.

9.1.2 Designation of Street Sections

The street sections defined in this code are to serve as typical street sections for the purposes of identifying future improvements by both the City and fronting property owners. Typical sections are the required arrangement where available right-of-way and topographic conditions permit. The street sections in this Section are keyed to specific districts and indicate total right-of-way width, sidewalk and streetside zone amenities, parking lanes, travel lanes and other geometric and urban design details.

9.1.3 Implementation of Street Sections

Where the existing right of way is substandard, the fronting property owner shall be required to dedicate the appropriate amount of right-of-way (as measured from the centerline of the existing street) as well as install all noted sidewalk zone improvements including expanded sidewalks and street trees, lighting and street furniture.

9.1.4 Minimum Streetscape Sections

Where the fronting street has not been assigned a typical section, development shall provide a minimum sidewalk and planting zone as follows:

- A. **UR Streetscape:** 5 foot sidewalk, 6 foot planting strip
- B. **CMX, TSMX, SD-NI Streetscape:** 6 foot

sidewalk and 8 foot planting strip or 12 foot sidewalk with tree wells

9.2 CONNECTIVITY**9.2.1 Applicability**

The following standards shall apply to and be implemented by all new residential and commercial subdivision development, multi-family development, or mixed-use development.

9.2.2 Street Network

- A. **Streets to be Interconnected:** Except where determined not feasible by the Community Development Director, all streets shall be designed to form part of an interconnected street pattern. Streets shall connect with adjacent street networks to the extent possible. Street designs shall be assessed, in terms of meeting this inter-connectivity standard, on their ability to: permit multiple routes between origin/destination points; diffuse traffic; and, shorten walking distances.
- B. **Block Lengths:** Low speed, low volume streets shall be designed with short block lengths of between two hundred and fifty (250) and five hundred (500) feet. The Community Development Director may approve alternative block length designs based on topography, the existence of environmentally sensitive lands, the need to preserve cultural resources and similar considerations.
- C. **Compliance with Adopted Plans:** Streets shall be planned with due regard to the designated corridors shown on the adopted Thoroughfare Plan or any other adopted plan.
- D. **Reserve Strips Prohibited:** Reserve strips and non-access easements adjoining street rights-of-way for the purpose of preventing access to or from adjacent property, and half-streets shall not be permitted.



9.2.3

E. Street Stubs: New developments shall connect to any existing street stubs from adjacent properties and shall stub to all adjacent properties where practical. The location of new required street stubs shall be prioritized as follows:

- Adjacent parcels 20 acres or greater
- Adjacent parcels that abut or are traversed by existing or proposed thoroughfares or collector streets.
- Where any adopted transportation or land use plan recommends a street connection.

F. Street Stub Exemptions: Street stubs shall not be required where the conditions listed below would prevent connections:

- Topographical conditions (where pre-development slopes are 18 percent or greater)
- Environmental conditions (e.g., jurisdictional wetlands)
- Property shape
- Property accessibility (e.g., existing platted subdivision with no stubs)
- Land use relationships (e.g., incompatible land uses, as determined by the Community Development Director).

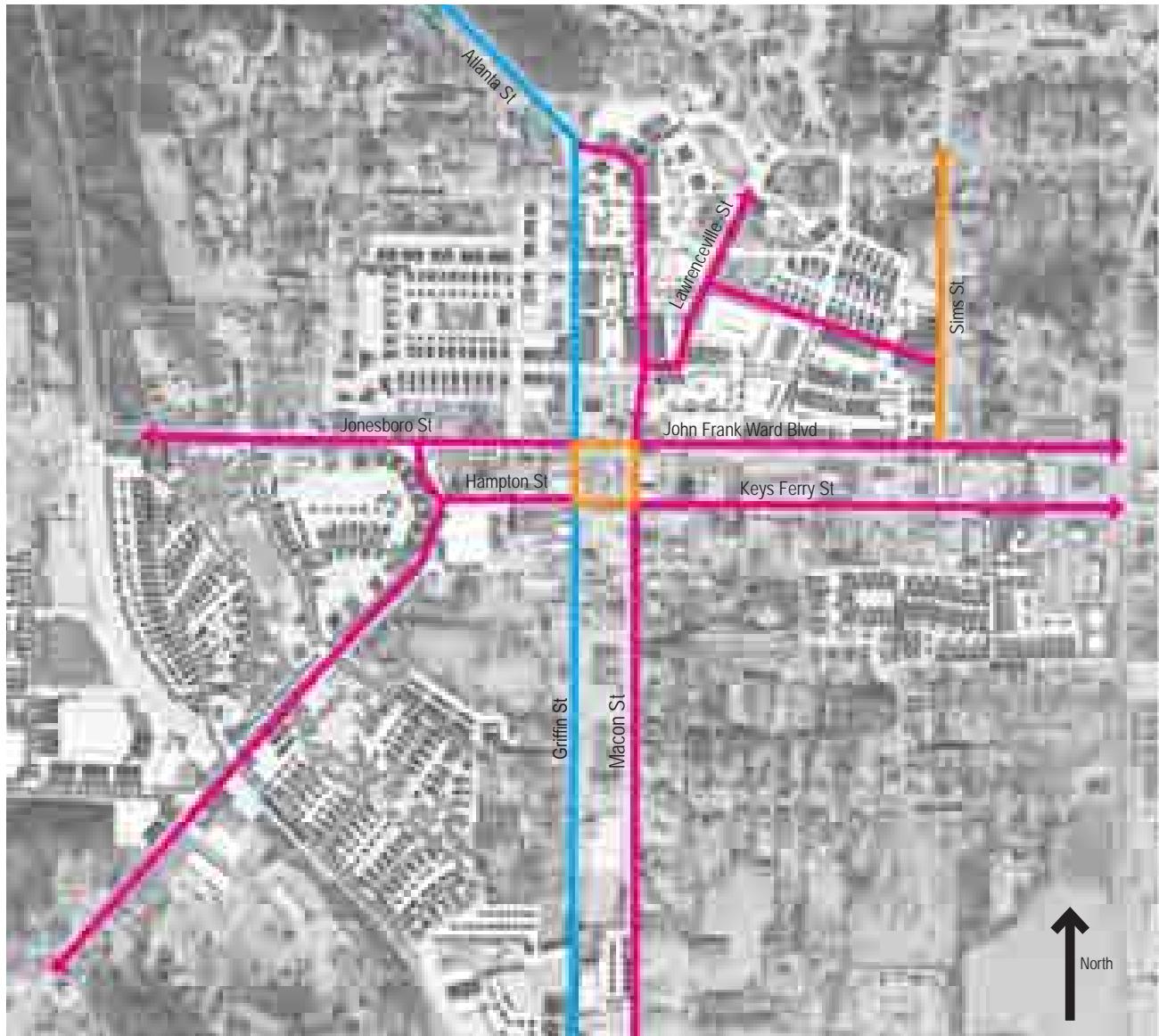
G. Stub Street Details: Stub streets and streets intended for extension during future phases

shall be constructed to extend to the property line or as close to the line as practical. It shall be the responsibility of the second development to construct the connection to an existing stub street. Stub (or dead head) streets shall not exceed 150 feet in length without a paved turnaround (permanent or temporary). A clearly visible street sign shall be erected at the end of the stub street stating that the street is planned to connect to a future street.

Pedestrian/Bicycle Connections

- Connections to Greenways and Parks: When lots abut greenways, parks and open space areas, accessways must be provided at a minimum of every six hundred (600) feet. Where a cul-de-sac street is permitted within a development, accessways to greenways, parks and open space areas must be provided where such streets back up to these areas.
- Connection of Cul-de-sacs: Where two (2) cul-de-sac streets end within three hundred (300) feet of each other, accessways shall be provided between the cul-de-sacs where feasible.
- Minimum Pedestrian/Bicycle Accessway Surface Width: Five (5) feet; right-of-way: ten feet.
- Surface Treatment of Accessways: The surface of accessways shall be constructed of a smooth, compactable material that is accessible for wheelchairs and strollers. Acceptable materials include asphalt, concrete, and crushed stone.

9.3 BICYCLE NETWORK PLAN

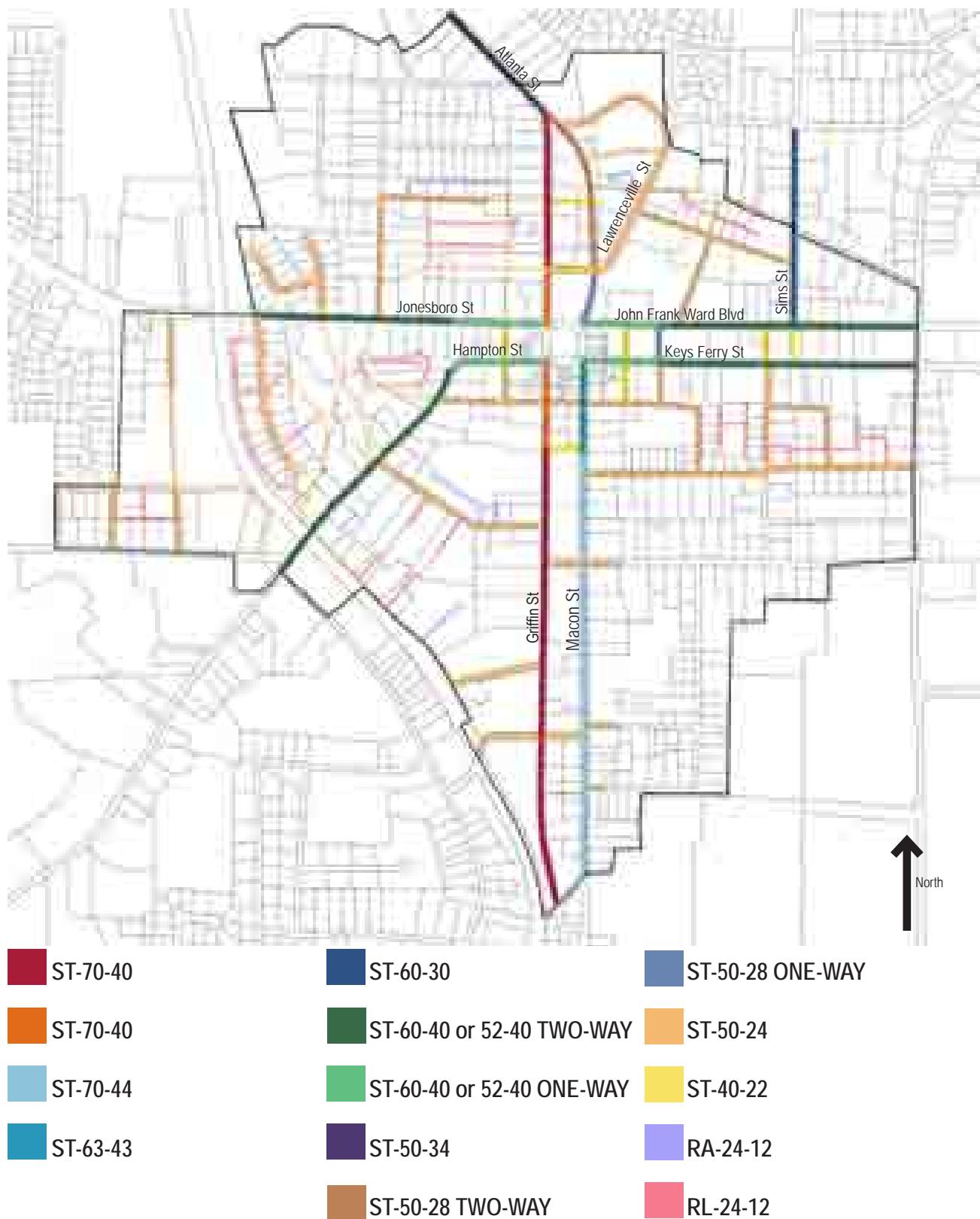


The bicycle network plan shown on this page corresponds to the street regulating plan in Section 9.4 and the related street sections designated therein.

Bicycle Facility Type



9.4 REGULATING STREET MAP & STREET SECTIONS



**9.4.1
ST-70-40**

Thoroughfare Type	Street
Transect Zone Assignment	UR, CMX, TSMX, SD-NI
Right-of-Way Width	70 feet
Pavement Width	40 feet
Movement	Slow Movement
Design Speed	25 MPH
Traffic Lanes	2 Lanes Through Traffic
Parking Lanes	1 Side Parallel Parking
Bike Lanes	10 foot Cycle Track
Curb Radius	10 feet
Walkway Type	6 foot Sidewalk
Planter Type	Planting Strip
Curb Type	Curb
Landscape Type	Trees at 40' o.c. Avg.
Transportation Provision	BL

Decorative Street Light
6' Wide Sidewalk
Street Tree

40'
20'

**9.4.2
ST-70-44**

Thoroughfare Type	Street
Transect Zone Assignment	UR, CMX, TSMX, SD-NI
Right-of-Way Width	70 feet
Pavement Width	44 feet
Movement	Slow Movement
Design Speed	25 MPH
Traffic Lanes	2 Lanes Through Traffic - One Way
Parking Lanes	1 Side Parallel Parking
Bike Lanes	10 foot Cycle Track
Curb Radius	10 feet
Walkway Type	6 foot Sidewalk
Planter Type	Planting Strip
Curb Type	Curb
Landscape Type	Trees at 40' o.c. Avg.
Transportation Provision	BL

Decorative Street Light
6' Wide Sidewalk
Street Tree

40'
20'

KEY

ST-56-40

Thoroughfare Type	ST
Right of Way Width	70'
Pavement Width	40'

THOROUGHFARE TYPES

Street:	ST
Rear Alley:	RA
Rear Lane:	RL

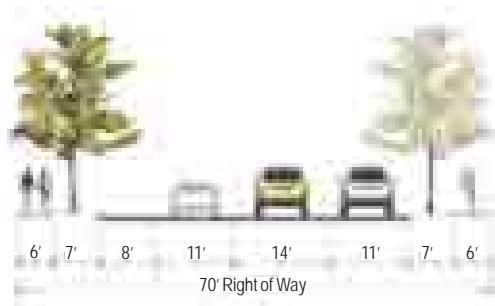
6' 7' 5' 5' 4' 11' 11' 8' 7' 6'

70' Right of Way

9.4.3 ST-70-44

Thoroughfare Type	Street
Transect Zone Assignment	UR, CMX, TSMX, SD-NI
Right-of-Way Width	70 feet
Pavement Width	44 feet
Movement	Slow Movement
Design Speed	25 MPH
Traffic Lanes	2 Lanes Through Traffic
Parking Lanes	1 Side Parallel Parking
Bike Lanes	N/A
Curb Radius	10 feet
Walkway Type	6 foot Sidewalk
Planter Type	Planting Strip
Curb Type	Curb
Landscape Type	Trees at 40' o.c. Avg.
Transportation Provision	BR

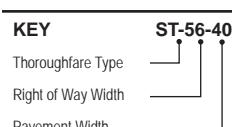
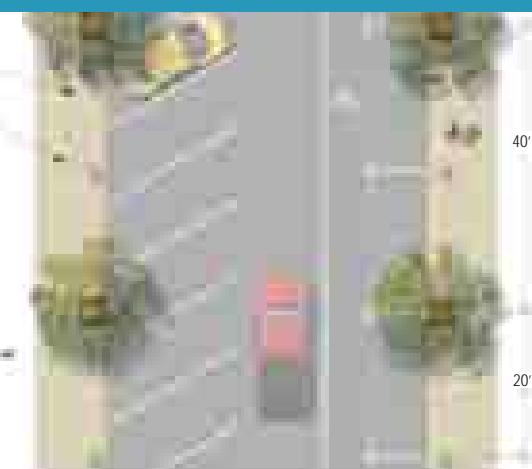
Decorative
Street Light
6' Wide
Sidewalk



9.4.4 ST-63-43

Thoroughfare Type	Street
Transect Zone Assignment	CMX, TSMX, Civic Buildings
Right-of-Way Width	66 feet
Pavement Width	43 feet
Movement	Slow Movement
Design Speed	25 MPH
Traffic Lanes	1 Lane Through Traffic
Parking Lanes	1 Side Parallel Parking, 1 Side Reverse Back Parking
Bike Lanes	5 feet 1 Side
Curb Radius	10 feet
Walkway Type	10 foot Sidewalk
Planter Type	5 foot Tree Grate
Curb Type	Curb
Landscape Type	Trees at 40' o.c. Avg.
Transportation Provision	BR

Decorative
Street Light
10' Wide
Sidewalk



THOROUGHFARE TYPES

Street:	ST
Rear Alley:	RA
Rear Lane:	RL

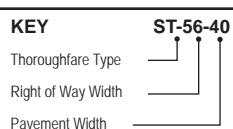
9.4.5 ST-60-30

Thoroughfare Type	Street
Transect Zone Assignment	CMX
Right-of-Way Width	60 feet
Pavement Width	30 feet
Movement	Slow Movement
Design Speed	25 MPH
Traffic Lanes	2 Lanes Through Traffic
Parking Lanes	N/A
Bike Lanes	5 foot Both Sides
Curb Radius	10 feet
Walkway Type	5 foot Sidewalk
Planter Type	Planting Strip
Curb Type	Curb
Landscape Type	Trees at 40' o.c. Avg.
Transportation Provision	BL



9.4.6 ST-60-40 or ST-52-40 (TWO-WAY)

Thoroughfare Type	Street
Transect Zone Assignment	CMX, TSMX, Civic Buildings
Right-of-Way Width	60, 52 feet
Pavement Width	40 feet
Movement	Slow Movement
Design Speed	25 MPH
Traffic Lanes	2 Lane Through Traffic
Parking Lanes	2 Sides Parallel Parking
Bike Lanes	N/A
Curb Radius	10 feet
Walkway Type	8 foot to 10 foot Sidewalk
Planter Type	5 foot Tree Grate
Curb Type	Curb
Landscape Type	Trees at 40' o.c. Avg.
Transportation Provision	BR



THOROUGHFARE TYPES

Street:	ST
Rear Alley:	RA
Rear Lane:	RL



9.4.7 ST-60-40 or ST-52-40 (ONE-WAY)

Thoroughfare Type	Street
Transect Zone Assignment	CMX, TSMX, Civic Buildings
Right-of-Way Width	60, 52 feet
Pavement Width	40 feet
Movement	Slow Movement
Design Speed	25-30 MPH
Traffic Lanes	2 Lane Through Traffic
Parking Lanes	2 Sides Parallel Parking
Bike Lanes	N/A
Curb Radius	10 feet
Walkway Type	8 foot - 10 foot Sidewalk
Planter Type	5 foot Tree Grate
Curb Type	Curb
Landscape Type	Trees at 40' o.c. Avg.
Transportation Provision	BR

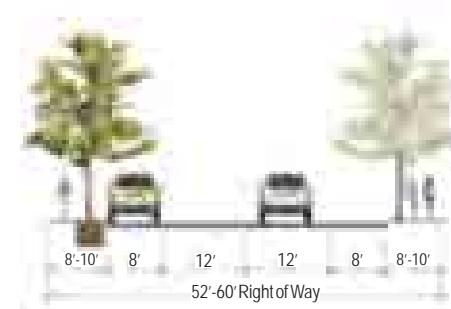
Decorative Street Light

8' Wide Sidewalk (min) & 12 ft preferred

Street Tree & 5' x 5' Grate

40'

20'



9.4.8 ST-50-34

Thoroughfare Type	Street
Transect Zone Assignment	N/A
Right-of-Way Width	50 feet
Pavement Width	34 feet
Movement	Slow Movement
Design Speed	25 MPH
Traffic Lanes	2 Lanes Through Traffic
Parking Lanes	N/A
Bike Lanes	10 foot Cycle Track
Curb Radius	10 feet
Walkway Type	5 foot Sidewalk
Planter Type	Planting Strip
Curb Type	Curb
Landscape Type	Trees at 40' o.c. Avg.

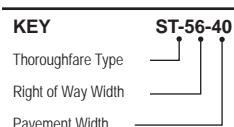
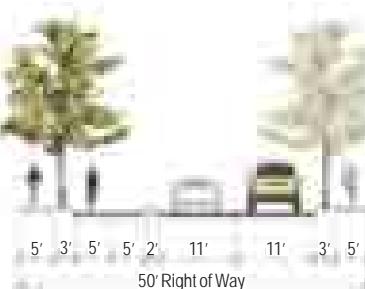
Decorative Street Light

5' Wide Sidewalk

40'

20'

Street Tree



THOROUGHFARE TYPES

Street:	ST
Rear Alley:	RA
Rear Lane:	RL

9.4.9 ST-50-28 (TWO-WAY)

Thoroughfare Type	Street
Transect Zone Assignment	CMX
Right-of-Way Width	50 feet
Pavement Width	28 feet
Movement	Slow Movement
Design Speed	25 MPH
Traffic Lanes	2 Lanes Through Traffic
Parking Lanes	1 Side Parallel Parking
Bike Lanes	N/A
Curb Radius	10 feet
Walkway Type	10 foot Sidewalk
Planter Type	5 foot Tree Grate
Curb Type	Curb
Landscape Type	Trees at 40' o.c. Avg.
Transportation Provision	BR

11' Wide Sidewalk

Decorative Street Light



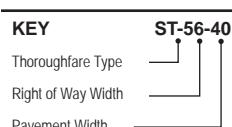
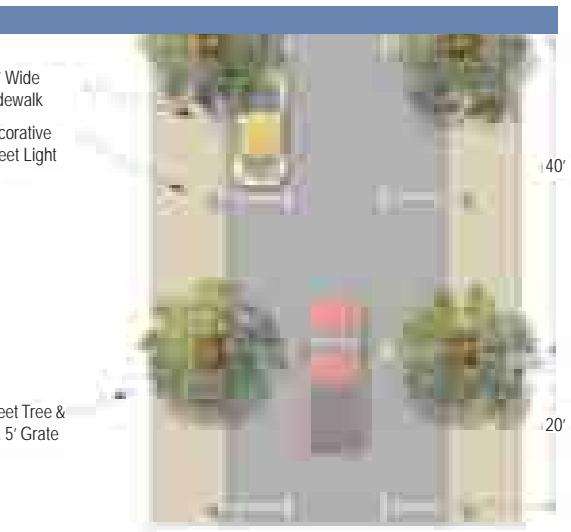
9.4.10 ST-50-28 (ONE-WAY)

Thoroughfare Type	Street
Transect Zone Assignment	CMX, TSMX, Civic Buildings
Right-of-Way Width	50 feet
Pavement Width	28 feet
Movement	Slow Movement
Design Speed	25 MPH
Traffic Lanes	1 Lane Through Traffic
Parking Lanes	2 Sides Parallel Parking
Bike Lanes	N/A
Curb Radius	10 feet
Walkway Type	11 foot Sidewalk
Planter Type	5 foot Tree Grate
Curb Type	Curb
Landscape Type	Trees at 40' o.c. Avg.
Transportation Provision	BR

11' Wide Sidewalk

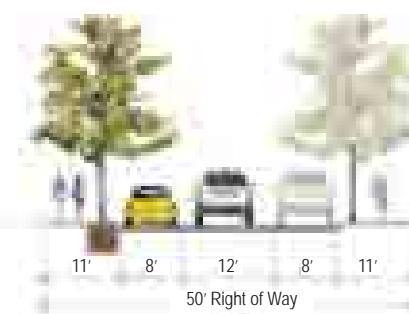
Decorative Street Light

Street Tree & 5' x 5' Grate



THOROUGHFARE TYPES

Street:	ST
Rear Alley:	RA
Rear Lane:	RL



9.4.11 ST-50-24	
Thoroughfare Type	Street
Transect Zone Assignment	UR
Right-of-Way Width	50 feet
Pavement Width	24 feet
Movement	Slow Movement
Design Speed	25 MPH
Traffic Lanes	2 Lane Through Traffic
Parking Lanes	2 Sides Parallel Parking
Bike Lanes	N/A
Curb Radius	10 feet
Walkway Type	5 foot Sidewalk
Planter Type	Planting Strip
Curb Type	Curb
Landscape Type	Trees at 40' o.c. Avg.
Transportation Provision	BR

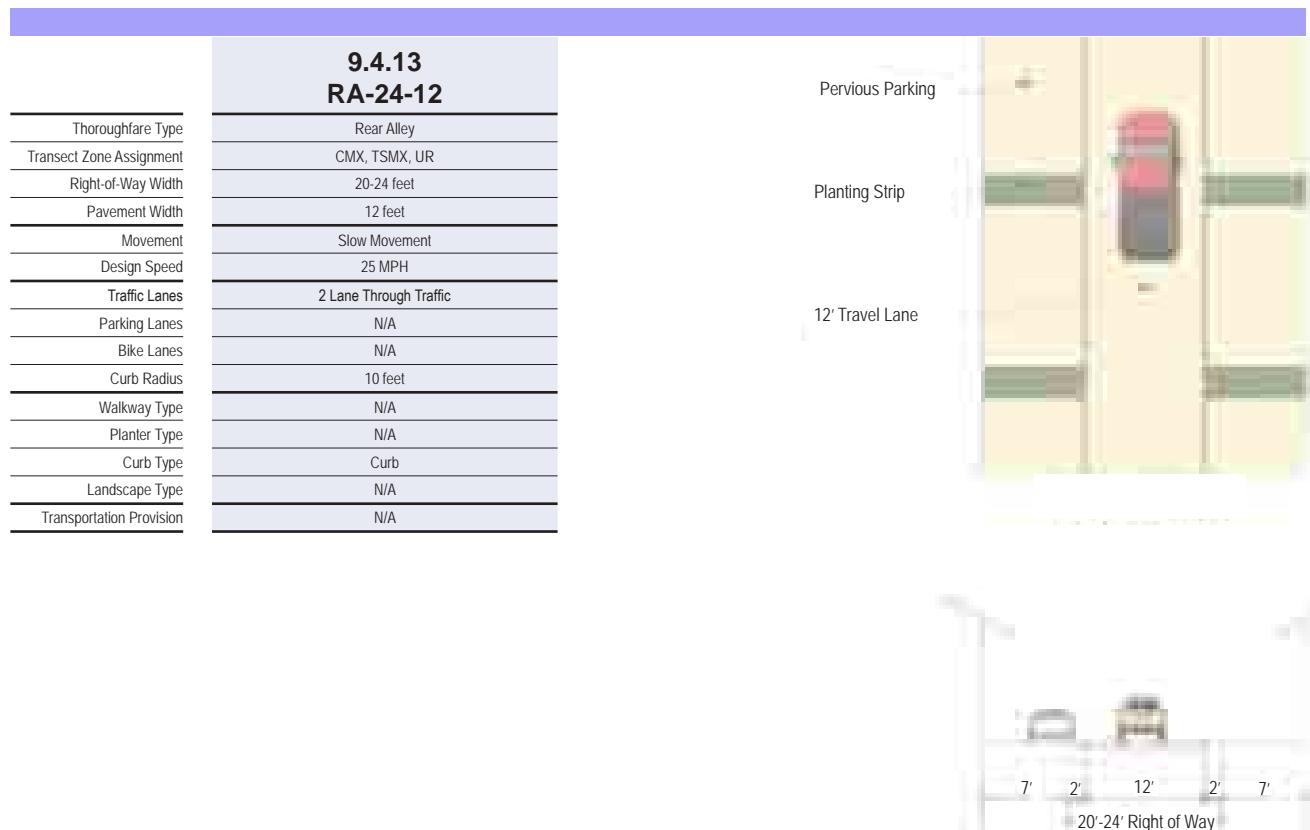


9.4.12 ST-40-22	
Thoroughfare Type	Street
Transect Zone Assignment	UR, CMX
Right-of-Way Width	40 feet
Pavement Width	22 feet
Movement	Slow Movement - One-Way or Two-Way
Design Speed	25 MPH
Traffic Lanes	2 Lanes Through Traffic
Parking Lanes	N/A
Bike Lanes	N/A
Curb Radius	10 feet
Walkway Type	9 foot Sidewalk
Planter Type	5 foot Tree Grate
Curb Type	Curb
Landscape Type	Trees at 40' o.c. Avg.
Transportation Provision	BR



KEY	ST-56-40
Thoroughfare Type	ST
Right of Way Width	40
Pavement Width	26

THOROUGHFARE TYPES	
Street:	ST
Rear Alley:	RA
Rear Lane:	RL

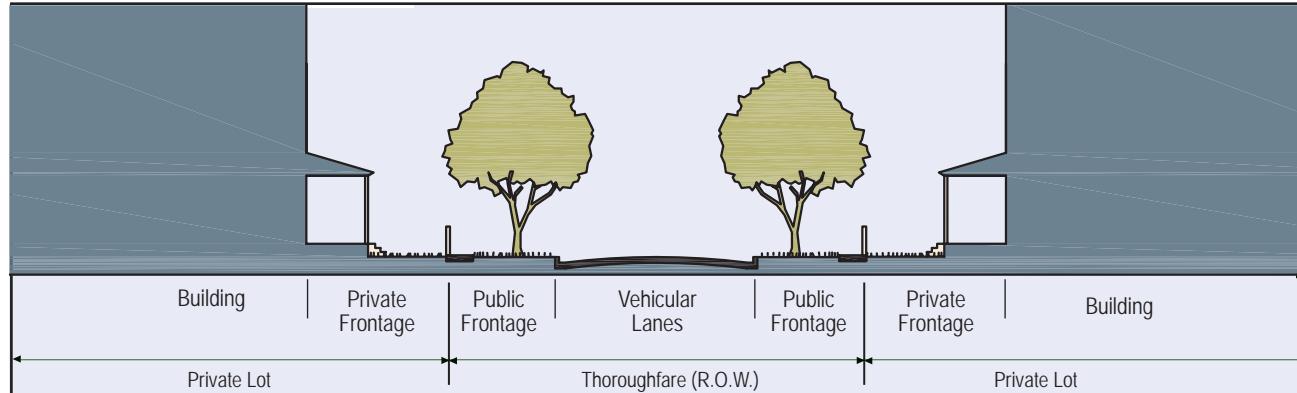


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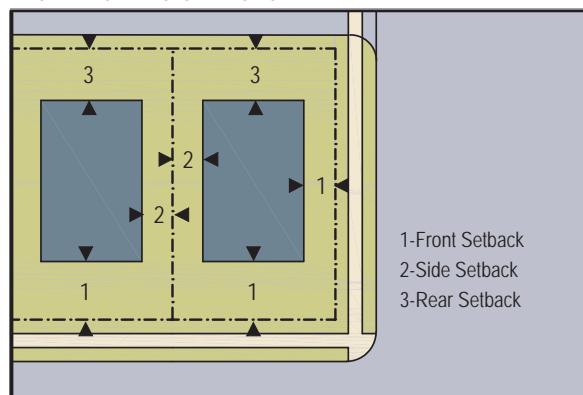
ARTICLE 10: DEFINITIONS

10.1 DEFINITIONS ILLUSTRATED

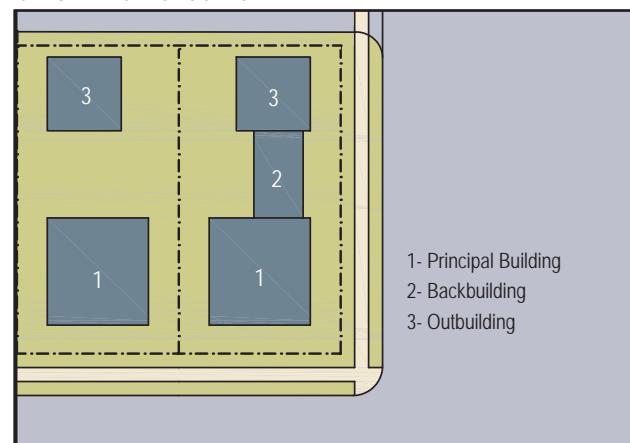
A. THOROUGHFARE & FRONTAGES



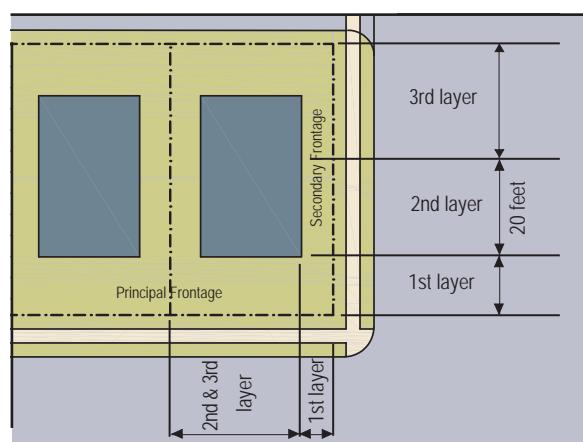
B. SETBACK DESIGNATIONS



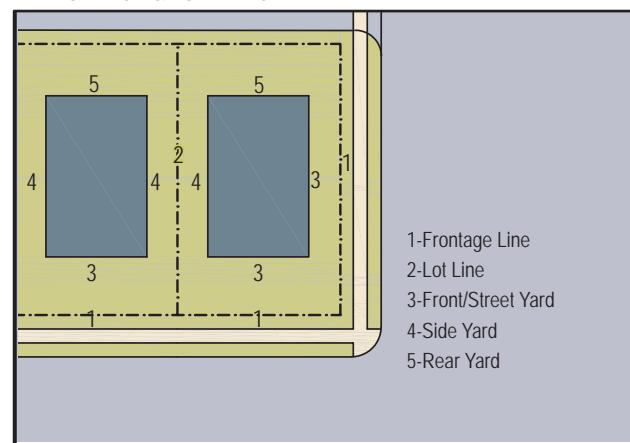
C. BUILDING DISPOSITION



D. LOT LAYERS



E. FRONTAGE & LOT LINES



10.2 DEFINITIONS OF USES

This Article provides definitions for terms in this Code that are technical in nature or that otherwise may not reflect a common usage of the term. If a term is not defined in this Article or in the Zoning Ordinance then the Board of Zoning Appeals shall determine the correct definition. Items in *italics* refer to *Articles or Sections* in the Code.

ADULT ESTABLISHMENT: Any establishment having a substantial portion of materials or entertainment characterized by an emphasis on sexual activities, anatomical genital areas, or the female breast as listed and defined in the Georgia State Statutes.

AIRSTRIPE/AIRPORT: A surface used for take-off and landing of aircraft and the buildings, passenger/freight terminals, airplane hangars, and other accessory uses directly associated with that function.

AMUSEMENTS, INDOOR: Establishments that provide commercial recreation activities completely within an enclosed structure such as video arcades, skating rinks, roller rinks, shooting ranges, and bowling alleys.

AMUSEMENTS, OUTDOOR: Establishments that provide commercial recreation activities primarily outdoors such as miniature golf establishments; go-cart facility; theme parks, carnivals, fairgrounds, and midways; paintball parks; and water rides.

ANIMAL PRODUCTION: Industries in the Animal Production subsector raise or fatten animals for the sale of animals or animal products. The subsector comprises establishments such as ranches, farms, and feedlots primarily engaged in keeping, grazing, breeding, or feeding animals. These animals are kept for the products they produce or for eventual sale. The animals are generally raised in various environments, from total confinement or captivity to feeding on an open range pasture. Establishments primarily engaged in the farm raising and production of aquatic animals or plants in controlled or selected aquatic environments are included in this subsector.

ARTIST STUDIO/LIGHT MANUFACTURING WORKSHOPS: The assembly, fabrication, production or processing of goods and materials using processes that ordinarily do not create noise, smoke, fumes, odors, glare, or health or safety hazards outside of the building and are visually undifferentiated from an office building or a residentially-scaled garage. These typically involve the work of artisans or craftsman.

ATM: Self-service machines used by banking customers for financial institutions, including deposits, withdrawals and fund transfers, without face-to-face contact with financial institution personnel.

These machines may be located at or within banks, or in other locations.

BACKYARD PENS/COOPS: The long-term keeping of fowl, rabbits, and other similar small creatures in backyards as accessory uses to existing residential structures.

BANKS, CREDIT UNIONS, FINANCIAL SERVICES: Establishments that engage in financial transactions that create, liquidate, or change ownership of financial instruments. Banks, credit unions, and savings institutions may perform central banking functions, accept deposits, and lend funds. In addition to banks and credit unions, financial services institutions may include: credit agencies, trust companies, holding companies, savings and loan institutions, securities/commodity contract brokers and dealers, security and commodity exchanges, vehicle finance (equity) leasing agencies, and investment companies.

BAR/TAVERN/NIGHT CLUB: A business where alcoholic beverages are sold for on-site consumption, which are not part of a larger restaurant. Includes bars, taverns, pubs, and similar establishments where any food service is subordinate to the sale of alcoholic beverages. May also include beer brewing as part of a microbrewery and other beverage tasting facilities. Entertainment including live music, and/or dancing, comedy, etc. may also be included.

BILLIARD/POOL HALL: Any place where one or more billiard or pool tables are operated or maintained, except for private family use, whether such place is a social club or a business enterprise operated for profit.

BOARDING OR ROOMING HOUSE: A detached residential structure that has been converted for use as group living quarters.

BUSINESS SUPPORT SERVICES: These establishments provide any of the following: document preparation, telephone answering, telemarketing, mailing (except direct mail advertising), court reporting, and steno typing. They may operate copy centers, which provide photocopying, duplicating, blueprinting, or other copying services besides printing. They may provide a range of support activities, including mailing services, document copying, facsimiles, word processing, on-site computer rental, tax preparation, legal services and office product sales.

CEMETERY: A parcel of land used for interment of the dead in the ground or in mausolea or columbaria.

CIVIC MEETING FACILITIES: Non-profit membership organizations such as alumni associations, booster clubs, scouting organizations, ethnic associations, social clubs, fraternal lodge and veterans' membership organizations primarily engaged in promoting the civic and social interests of their members. The uses often include meeting and storage facilities.

COLLEGE/UNIVERSITY: Junior colleges, colleges, universities, and professional schools with physical structures (excluding online and remote programs). These establishments furnish academic or technical courses and grant degrees, certificates, or diplomas at the associate, baccalaureate, or graduate levels in a campus setting.

COMMUNITY SUPPORT FACILITY: A non-profit or government facility providing personal assistance on-site to individuals in need; such assistance to individuals may include temporary shelter, food services provisions, counseling, instruction, medical services, and other incidental services.

CONFERENCE/CONVENTION CENTER: A commercial facility for public assembly including, but not limited to auditoriums, conference facilities, convention centers, exhibition halls, and the like.

CORRECTIONAL INSTITUTION: Government establishments generally designed for the confinement, correction, and rehabilitation of offenders sentenced by a court.

CREMATORIUM: A furnace or establishment for the incineration of human or animal corpses.

CULTURAL OR COMMUNITY FACILITY: Facilities designed to promote cultural advancement and serve the community such as live theater, dance, or music establishments; art galleries, studios and museums; museums, exhibition, or similar facility; and libraries.

DRIVE-THRU/DRIVE-IN FACILITY: A primary or accessory facility where goods or services may be obtained by motorists without leaving their vehicles. These facilities include drive-through bank teller windows, dry cleaners, fast-food restaurants, drive-through coffee, photo stores, pharmacies, etc. Does not include: Automated Teller Machines (ATMs), gas stations or other vehicle services, which are separately defined.

DRY CLEANING & LAUNDRY SERVICES: Coin-operated laundries, dry cleaning pick-up stores without dry cleaning equipment, or dry cleaning stores that do not provide cleaning services to other collection stations or stores.

DWELLING-ACCESSORY: A dwelling unit either detached or attached, such as a garage apartment or cottage, designed for occupancy by one or two persons, not exceeding 750 square feet of gross floor space and located on a lot with an existing single-family dwelling. Said units shall not exceed one per lot.

FAMILY CARE HOME (6 OR FEWER RESIDENTS): A home with support and supervisory personnel that provides room and board, personal care and rehabilitation services in a family environment for not more than six (6) resident handicapped persons and is certified by the State of Georgia.

FARMERS' MARKETS: A temporary sales establishment, operated primarily in the open air, for the distribution of agricultural products

including, but not limited to: vegetables, fruits, meats, eggs, dairy products, grains, and prepared foods.

FUNERAL HOMES: Establishments for preparing the dead for burial or interment and conducting funerals (i.e. providing facilities for wakes, arranging transportation for the dead, and selling caskets and related merchandise).

GARDEN (COMMUNITY AND PRIVATE): An exterior area for the small-scale production of vegetables and flowering plants for personal or small commercial use. This definition includes community and private gardens. This definition does not include crop production and nurseries.

GAS/FUELING STATION: Establishment that primarily retails automotive fuels. These establishments may further provide services such as automotive maintenance repair, automotive oils, and/or replacement parts and accessories. Gas stations include structures that are specialized for selling gasoline with storage tanks, often underground or hidden. The sale of food and other items as well as car washes shall be incidental to the gas station.

GENERAL COMMERCIAL – GREATER THAN 100,000 SF: A use category allowing general commercial premises greater than 100,000 square feet in gross leasable area to be available for the commercial sale of merchandise, and foods(fresh and prepared), but excluding manufacturing.

GENERAL COMMERCIAL: A place of business providing the sale and display of goods or sale of services directly to the consumer, with goods available for immediate purchase and removal from the premises by the purchaser.

HALFWAY HOUSES: A professionally managed and staffed place where persons are aided in readjusting to society following a period of imprisonment, hospitalization or institutionalized treatment related to a criminal offense.

HEAVY EQUIPMENT/MANUFACTURED HOME RENTAL/SALES: Establishments which may have showrooms or open lots for selling, renting or leasing heavy equipment such as buses, trucks, manufactured homes, construction equipment, or boats or marine craft.

HOSPITAL: A health care facility and related facilities the purpose of which is to provide for care, treatment, testing for physical, emotional, or mental injury, illness, or disability, and overnight boarding of patients, either on a for-profit or not-for-profit basis; but not including group homes. The facility must be licensed by the Georgia Division of Facility Services (DFS) as a hospital (general or psychiatric).

INDUSTRY, HEAVY: A non-residential use that requires a National Pollutant Discharge Elimination System (NPDES) permit for an industrial or stormwater discharge or involves the use or storage

of any hazardous materials or substances or that is used for the purpose of manufacturing, assembling, finishing, cleaning or developing a product or commodity. Typically the largest facilities in a community, these structures house complex operations, some of which might be continuous (operated 24 hours a day, seven days a week).

INDUSTRY, LIGHT: A non-residential use that involves the manufacturing, assembling, finishing, cleaning or developing any product or commodity. Facilities typically do not generate visible impacts beyond that of a typical office building, but may rely on special power, water, or waste disposal systems for operation. Noise, odor, dust, and glare of each operation are completely confined within an enclosed building, insofar as practical. This includes medical and testing laboratories, facilities for scientific research, and the design, development, and testing of electrical, electronic, magnetic, optical, computer and telecommunications components in advance of product manufacturing, and the assembly of related products from parts produced off-site, where the manufacturing activity is secondary to the research and development activities. Also included are laundry/dry cleaning plants as principal uses engaged primarily in high volume laundry and garment services, including: carpet and upholstery cleaners; diaper services; dry-cleaning and garment pressing; and commercial laundries. Examples may include the production of small consumer goods such as the manufacture of clothes, shoes, furniture, consumer electronics and home appliances.

KENNELS, OUTDOOR: A use or structure intended and used for the breeding or accommodation of small domestic animals for sale or for the training or overnight boarding of animals for persons other than the owner of the lot, but not including a veterinary clinic in which the overnight boarding of animals is necessary for or accessory to the testing and medical treatment of the physical disorders of animals.

LIVE-WORK UNITS: An attached residential building type with a small commercial enterprise on the ground floor and a residential unit above or behind with a common tenant in both spaces (no dual occupancy is permitted).

MATERIALS RECOVERY & WASTE TRANSFER FACILITIES: This industry comprises establishments primarily engaged in (1) operating facilities for separating and sorting recyclable materials from nonhazardous waste streams (i.e., garbage) and/or (2) operating facilities where commingled recyclable materials, such as paper, plastics, used beverage cans, and metals, are sorted into distinct categories.

NURSERIES & GARDEN CENTERS: Industries in the Nursery and Garden Center subsector grow and sell crops mainly to be transplanted to another lot. The subsector comprises establishments, such as orchards, greenhouses, and nurseries, primarily engaged in wholesaling and retailing crops, plants, vines, or trees and their seeds.

OUTSIDE STORAGE: The storage of any material for a period greater than forty-eight (48) hours, including items for sale, lease, processing and repair (excluding vehicles for sale) outside the principal or accessory buildings on a property. Storage of construction materials on an active job site may not be defined as onsite storage.

OUTSIDE SALES: The retail sale of goods and products outside of a permanent structure that are clearly secondary to the function contained in that structure. This includes, but is not limited to: landscape materials, lawn and garden supplies, and produce.

PARKING LOT/STRUCTURE – PRINCIPAL USE: A stand-alone parking lot or structure (deck/garage) that is available for public or private use, but that is not accessory.

PAWNSHOPS: Premises operated by a pawnbroker who is engaged in the business of lending money on the security of pledged goods and who may also purchase merchandise for resale from dealers and traders.

PERSONAL SERVICES: Cosmetic services such as hair and nail salons, barber shops, clothing alterations, shoe repair, weight loss centers and non-permanent makeup services.

PERSONAL SERVICES, RESTRICTED: A personal service establishment that may tend to have a blighting and/or deteriorating effect upon surrounding areas and that may need to be dispersed from other similar uses to minimize its adverse impacts, including check-cashing services and tattooing, piercing, and similar services. These uses may also include accessory retail sales of products related to the services provided.

POST OFFICE: Establishments conducting operations of the United States Postal Service including permanent, contract, and lease stations.

PRODUCE STANDS: A temporary open air stand or place for the seasonal selling of agricultural produce by an individual (excludes Open Air Retail).

PROFESSIONAL SERVICES: Services provided that make available the knowledge and skills of their employees to sell expertise and perform professional, scientific, and technical services to others such as legal services; accounting, tax, bookkeeping, and payroll services; architectural, engineering, and related services; graphic, industrial, and interior design services; consulting services; research and development services; advertising, media, and photography services; real estate services; investment banking, securities, brokerages; and insurance-related services; and, medical services such as physician's and dentist's offices.

RACETRACK: An outdoor course prepared for horse, dog, automobile or other vehicle racing.

RECREATION FACILITIES, INDOOR: Uses or structures for active recreation including gymnasiums, natatoriums, fitness center, athletic equipment, indoor running tracks, climbing facilities, court facilities and their customary accessory uses.

RECREATION FACILITIES, OUTDOOR: Parks and other open space used for active or passive recreation such as ball fields, batting cages, skateboard parks, playgrounds, greenway trails, driving ranges, tennis courts, riding stables, campgrounds, and golf courses and their customary accessory uses including, but not limited to, maintenance sheds, clubhouses (with or without food service), pools, restrooms, and picnic shelters.

RECYCLING COLLECTION STATIONS: A center for the acceptance by donation, redemption, or purchase, of recyclable materials from the public.

RELIGIOUS INSTITUTION: Any facility such as a church, temple, monastery, synagogues, or mosque used for worship by a non-profit organization and their customary related uses for education (pre-schools, religious education, etc.), recreation (gymnasiums, activity rooms, ball fields, etc.), housing (rectory, parsonage, elderly or disabled housing, etc.) and accessory uses such as cemeteries, mausoleums, offices, soup kitchens, and bookstores.

RESEARCH AND DEVELOPMENT FACILITIES: This includes medical and testing laboratories but shall not include uses that require frequent deliveries by truck with more than two axles. This definition also includes facilities for scientific research, and the design, development, and testing of electrical, electronic, magnetic, optical, computer and telecommunications components in advance of product manufacturing, and the assembly of related products from parts produced off-site, where the manufacturing activity is secondary to the research and development activities.

RESIDENTIAL CARE FACILITIES: A staffed premises (not a single-family dwelling) with paid or volunteer staff that provides full-time care to more than 6 individuals. Residential care facilities include group homes, nursing homes, residential child-care facilities, assisted living residences, adult care homes, retirement housing, congregate living services, assisted living services, continuing care retirement centers, skilled nursing services and orphanages. This term excludes family care homes and halfway houses.

RESTAURANT: A retail business selling ready-to-eat food and/or beverages for on or off-premise consumption. Customers may be served from an ordering counter (i.e. cafeteria or limited service restaurant); at their tables (full-service restaurant); and, at exclusively pedestrian-oriented facilities that serve from a walk-up ordering counter (snack and/or nonalcoholic bars).

SCHOOLS – ELEMENTARY & SECONDARY A public or private institution for education or learning including athletic or recreational facilities, which does not include lodging. This institution includes any school licensed by the state and that meets the state

requirements for elementary and secondary education. This institution may include remedial after school activities.

SCHOOLS – VOCATIONAL/TECHNICAL: A public or private institution for education or learning including athletic or recreational facilities, which does not include lodging. These schools offer vocational and technical training in a variety of technical subjects and trades. Training may lead to job-specific certification.

SHOOTING RANGE, OUTDOOR: A permanently located and improved area that is designed and operated for the use of rifles, shotguns, pistols, silhouettes, skeet, trap, black powder or any other similar sport shooting in an outdoor environment. Shooting range excludes any area for the exclusive use of archery or air guns or enclosed indoor facility that is designed to offer a totally controlled shooting environment and that includes impenetrable walls, floor and ceiling, adequate ventilation, lighting systems and acoustical treatment for sound attenuation suitable for the range's approved use.

SMALL EQUIPMENT REPAIR/RENTAL: The repair and/or rental of small equipment as a primary use including televisions, computers, cleaning equipment, vacuum cleaners, and other equipment that can be transported by automobile, small truck/van.

SPORTS ARENA/STADIUM: A structure that is open or enclosed and used for games, concerts, and major events and is partly or completely surrounded by tiers of seats for spectators.

STORAGE – OUTDOOR STORAGE YARD: The storage of various materials outside of a structure, as a principal use.

STORAGE – SELF-SERVICE: A building containing separate enclosed storage spaces of varying sizes leased or rented on an individual basis.

STUDIO – ART, DANCE, MARTIAL ARTS, MUSIC: Facilities for individual and group instruction and training in the arts; production rehearsal; photography, and the processing of photographs produced only by users of the studio facilities; martial arts training studios; gymnastics, yoga, and similar instruction; and aerobics and gymnastics studios with no other fitness facilities or equipment.

TEMPORARY USE: A land use on an individual parcel or site established for a limited and fixed period of time for a purpose which may not normally be permitted in a zoning district, or which does not meet all zoning requirements, but which is necessary in special situations.

THEATER, INDOOR (MOVIE OR LIVE PERFORMANCE): A specialized theater for showing movies or motion pictures on a projection screen or a stage for live performances. This category also includes cineplexes and megaplexes, complex structures with multiple movie theaters, each theater capable of an independent performance.

THEATER, OUTDOOR: An establishment for the performing arts with open-air seating for audiences.

THEATER, DRIVE-IN: A specialized outdoor theater for showing movies or motion pictures on a projection screen where patrons view movies from their vehicles.

UTILITIES: Facilities or systems for the distribution of gas, electricity, steam, or water, the collection, treatment and disposal of sewage or refuse; the transmission of communications; of similar functions necessary for the provision of public services. Radio transmission facilities less than 180 feet in height for use by ham radio operators or two-way radio facilities for business or governmental communications shall be deemed accessory uses and not utilities. Utilities are divided into 3 classes:

Class 1 Distribution, transmission and collection lines (above and below ground) including electrical, telephone/broadband internet, natural, gas, waste water collection, and water distribution lines; pumping stations, lift stations, and telephone/broadband switching facilities (up to 200 square feet).

Class 2 Elevated water storage tanks; above ground natural gas facilities including regulator stations and Point of Delivery stations; package treatment plants; telephone/broadband switching facilities (over 200 square feet); substations; or other similar facilities in connection with telephone, electric, natural gas, steam, and water facilities, not including cellular communication towers.

Class 3 Generation, production, or treatment facilities such as power plants, water and sewage plants, and landfills.

VEHICLE RENTAL/LEASING/SALES: Establishments which may have showrooms or open lots for selling, renting or leasing vehicles. May include car dealers for automobiles and light trucks, mobile homes, motorcycle, ATV, or boat and marine craft dealers.

VEHICLE SERVICES – MAJOR REPAIR/BODY WORK: The repair, servicing, alteration, restoration, towing, painting, cleaning, or finishing of automobiles, trucks, recreational vehicles, boats, large appliances, commercial and industrial equipment and other vehicles as a primary use, including the incidental wholesale and retail sale of vehicle parts as an accessory use. This includes major repair and body work which encompasses towing, collision repair, other body work and painting services, and tire recapping. This may be an accessory use to an establishment that provides vehicle rental/leasing/sales.

VEHICLE SERVICES – MINOR MAINTENANCE/REPAIR: The repair, servicing, alteration, restoration, towing, painting, cleaning, or finishing of automobiles, trucks, recreational vehicles, boats and other vehicles as a primary use, including the incidental wholesale and retail sale of vehicle parts as an accessory use. Minor facilities providing limited repair and maintenance services. Examples

include: car washes, attended and self-service; car stereo and alarm system installers; detailing services; muffler and radiator shops; quick-lube services; tire and battery sales and installation (not including recapping).

VETERINARY SERVICES: Establishments that include services by licensed practitioners of veterinary medicine, dentistry, or surgery for animals; boarding services for pets; and grooming.

WHOLESALING AND DISTRIBUTION: Establishments engaged in selling merchandise to retailers; to contractors, industrial, commercial, institutional, farm or professional business users; to other wholesalers; or acting as agents or brokers in buying merchandise for or selling merchandise to such persons or companies. This does not include selling to the public. Examples of these establishments include:

- Agents, merchandise or commodity brokers, and commission merchants;
- Assemblers, buyers and associations engaged in the cooperative marketing of farm products;
- Merchant wholesalers;
- Stores primarily selling electrical plumbing, heating, and air conditioning supplies and equipment.

10.3 DEFINITIONS OF TERMS

ATTIC: the interior part of a building contained within a pitched roof structure.

BICYCLE LANE (BL): a dedicated lane for cycling within a moderate-speed vehicular Thoroughfare, demarcated by striping.

BUILDING SYSTEM: any utility, mechanical, electrical, structural, engross, or fire protection/safety system.

BY RIGHT: characterizing a proposal or component of a proposal that may be approved administratively, without public hearing.

CIVIC BUILDING: a building operated by not-for-profit organizations dedicated to arts, culture, education, recreation, government, transit, and municipal parking, or for use approved by the legislative body.

CIVIC SPACE: an outdoor area dedicated for public use. Civic Space types are defined by the combination of certain physical constants including the relationships among their intended use, their size, their landscaping and their Enfronting buildings.

CIVIC ZONE: designation for public sites dedicated for Civic Buildings and Civic Space.

CONFIGURATION: the form of a building, based on its massing, Private Frontage, and height.

CURB: the edge of the vehicular pavement that may be raised or flush to a Swale. It usually incorporates the drainage system.

DENSITY: the number of dwelling units or other unit of measure, such as square feet of building floor area within a standard measure of land area.

DESIGN SPEED: is the velocity at which a Thoroughfare tends to be driven without the constraints of signage or enforcement. There are four ranges of speed: Very Low: (below 20 MPH); Low: (20-25 MPH); Moderate: (25-35 MPH); High: (above 35 MPH). Lane width is determined by desired Design Speed.

DISPOSITION: the placement of a building on its Lot.

DRIVE: a Thoroughfare along the boundary between an Urbanized and a natural condition, usually along a waterfront, Park, or promontory. One side has the urban character of a Thoroughfare, with Sidewalk and building, while the other has the qualities of a Road or parkway, with naturalistic planting and rural details.

DRIVEWAY: a vehicular lane within a Lot, often leading to a garage.

EFFECTIVE TURNING RADIUS: the measurement of the inside Turning Radius taking parked cars into account. See *Section 6.1*.

ELEVATION: an exterior wall of a building not along a Frontage Line.

ENCROACH: to extend through the plane of a vertical or horizontal regulatory limit with a structural element, so that it extends into a Setback, into the Public Frontage, or above a height limit.

ENCROACHMENT: any structural element that breaks the plane of a vertical or horizontal regulatory limit, extending into a Setback, into the Public Frontage, or above a height limit.

ENFRONT: to place an element along a Frontage, as in “porches Enfront the street.”

EXISTING BUILDING OR STRUCTURE: any building or structure having a Certificate of Occupancy as of the effective date of this ordinance.

FACADE: the exterior wall of a building that is set along a Frontage Line. See **ELEVATION**.

FRONTAGE: the area between a building Facade and the vehicular lanes, inclusive of its built and planted components. Frontage is divided into **PRIVATE FRONTAGE** and **PUBLIC FRONTAGE**.

FRONTAGE LINE: a Lot line bordering a Public Frontage. Facades facing Frontage Lines define the public realm and are therefore more regulated than the Elevations facing other Lot Lines.

HISTORIC BUILDING: Any building so designated by the McDonough City Council as an historic property pursuant to

the criteria established in this code in Chapter 15.44, “Historic Preservation.”

LAYER: a range of depth of a Lot within which certain elements are permitted.

LINER BUILDING: a building specifically designed to mask a parking lot or a Parking Structure from a Public Way. Such building may be either detached or embedded in the parking structure.

OPEN SPACE: land intended to remain undeveloped; it may be for Civic Space.

PARKING STRUCTURE: a building containing one or more Stories of parking above grade.

PLANTER: the element of the Public Frontage which accommodates street trees, whether continuous or individual.

PRINCIPAL BUILDING: the main building on a Lot, usually located toward the Frontage.

PRINCIPAL ENTRANCE: the main point of access for pedestrians into a building.

PRINCIPAL FRONTAGE: On corner Lots, the Private Frontage designated to bear the address and Principal Entrance to the building, and the measure of minimum Lot width. Prescriptions for the first Layer pertain to both Frontages of a corner Lot. See **FRONTAGE**.

PRIVATE FRONTAGE: the privately held Layer between the Frontage Line and the Principal Building Facade.

PUBLIC FRONTAGE: the area between the Curb of the vehicular lanes and the Frontage Line.

REAR ALLEY (RA): a vehicular way located to the rear of Lots providing access to service areas, parking, and Outbuildings and containing utility easements. Rear Alleys should be paved from building face to building face, with drainage by inverted crown at the center or with roll Curbs at the edges.

REAR LANE (RL): a vehicular way located to the rear of Lots providing access to service areas, parking, and Outbuildings and containing utility easements. Rear Lanes may be paved lightly to Driveway standards. The streetscape consists of gravel or landscaped edges, has no raised Curb, and is drained by percolation.

RECESS LINE: a line prescribed for the full width of a Facade, above which there is a Stepback of a minimum distance, such that the height to this line (not the overall building height) effectively defines the enclosure of the Enframing public space. Var: Extension Line.

REGULATING PLAN: the adopted Map or set of maps that shows

the Districts, Civic Zones, Special Districts if any, and Restricted Frontages if any, of areas subject to, or potentially subject to, regulation by this Code.

SECONDARY FRONTAGE: on corner Lots, the Private Frontage that is not the Principal Frontage. As it affects the public realm, its First Layer is regulated.

SETBACK: the distance on a Lot measured from the Lot line to a building Facade or Elevation that is maintained clear of permanent structures, with the exception of Encroachments. (Var: build-to-line.)

SIDEWALK: the paved section of the Public Frontage dedicated exclusively to pedestrian activity.

STEPBACK: a building Setback of a specified distance that occurs at a prescribed number of Stories above the ground.

STREETSCREEN: a freestanding wall built along the Frontage Line, or coplanar with the Facade. It may screen a parking lot from the Thoroughfare, provide privacy to a side yard, and/or strengthen the spatial definition of the public realm. (Syn: streetwall.)

STREET YARD: the area between a building frontage and the right-of-way line.

SUBSTANTIAL MODIFICATION: alteration to a building that is valued at more than 50% of the replacement cost of the entire building, if new.

TERMINATED VISTA: a location at the axial conclusion of a Thoroughfare. A building located at a Terminated Vista designated on a Regulating Plan is required or recommended to be designed in response to the axis.

THOROUGHFARE: a way for use by vehicular and pedestrian traffic and to provide access to Lots and Open Spaces, consisting of Vehicular Lanes and the Public Frontage.

TURNING RADIUS: the curved edge of a Thoroughfare at an intersection, measured at the inside edge of the vehicular tracking. The smaller the Turning Radius, the smaller the pedestrian crossing distance and the more slowly the vehicle is forced to make the turn.

